

Town of Bar Harbor

2023

Annual Report

Annual Town Meeting

June 4, 2024

**Open Town Meeting 6:00 p.m.
Connors Emerson School Gymnasium**

~ Voter Check-in Required ~

Voters must check in to obtain a voter card prior to participating in Open Town Meeting. Voters should plan to arrive at least 30 minutes before the meeting is scheduled to begin.

June 11, 2024

**Election of Officers and Vote on Articles 2-5
Polls Open 8:00 a.m. – 8:00 p.m.
Municipal Auditorium**

Cover Photo: Cadillac South Ridge trail. Photo by Lilea Simis.

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TOWN MANAGER

To the Residents of Bar Harbor:

Enclosed in this annual report are the various town department reports and the audit of the town's financial status as of June 30, 2023.

Some significant events and highlights of the 2023 calendar year:

The town maintained its Unassigned Fund Balance goal of 10% of audited revenues for FY23, and continues to receive the highest possible credit rating from Standard & Poor's.

The property tax mil rate was set to \$8.68 with a real and personal property tax increase of \$413,556,900.

Town Manager Kevin Sutherland resigned in January 2023 and the Town went through a lengthy recruitment process until the position was offered to, and accepted by, Town Manager James Smith in October 2023. During the interim period of time previous Town Manager Cornell Knight and Finance Director Sarah Gilbert both served stints as the interim town manager. Smith's first day on the job was November 15, 2023.

David Kerns was appointed as Police Chief of the towns of both Bar Harbor and Mount Desert in November 2023, following the retirement of Jim Willis who had served as Chief of both towns for nearly a decade.

At the town election in June, voters approved a \$58.5 million bond issue for construction of a new elementary school. Councilor Valerie Peacock was re-elected and new Councilors Maya Caines, Earl Brechlin, and Kyle Shank were also elected to office. Land Use Ordinance amendments for setback distances, floor area ratio, conversion to multifamily use, and underground utilities were approved by the voters.

There was no town election in November, but Bar Harbor had a strong turnout in the state referendum election.

APPLL filed a law suit against the Town over a citizen initiative, and voter approved, Cruise Ship Ordinance. Erica Brooks & Victoria Smith lost their law suit against the Town in an April 2023 decision, but shortly appealed to the Maine Supreme Court.

The Town Council adopted a new ordinance banning the sale of flavored tobacco products in town.

Respectfully submitted,

James L. Smith
Town Manager

TOWN CLERK

The Town Clerk's office serves as a sort of connective tissue between departments, the Town Council, boards and committees, and others who interact with town government. We also create and steward town records, assisting town leadership and the public in making good decisions for the future by accessing information about what has been done in the past and what is happening in the present.

The budget review process and preparation for the 2023 Annual Town Meeting was anything but routine as the Town Manager departed in mid-January and the Clerk went on maternity leave in early March. The town is indebted to former Town Clerk Sharon Linscott, who graciously agreed to come back to supervise the preparation for the June election and conduct the election itself, and to former Mount Desert Town Clerk Joelle Nolan, who joined the team during Liz's leave. Much of the workload fell on Deputy Clerk Lynn Kenison Higgins' shoulders; she did a fantastic job keeping all the balls in the air with her trademark kindness and patience.

The clerk's office issues licenses for dogs, hunting, fishing, clamming, and vehicles for hire; coordinates local approval of liquor licenses; issues certified copies of birth, death, and marriage certificates; and records marriages. Marriages, concentrated in June and September-October, continue to keep the office very busy during those months.

It was a busy year for General Assistance, the welfare program jointly administered by the town and the state Department of Health and Human Services. The town received 12 applications and approved \$4,820 in aid.

The Clerk now serves as Public Information Officer, responding in 2023 to more than 22 requests and coordinating many hours of work from staff and elected and appointed officials to search for, retrieve and compile requested records.

We continued to review and update Town Council processes and preparation for meetings. With the new Council year, for the first time several Councilors opted to receive packets in digital form only. When new Manager James Smith joined us in November, he introduced the more formal, yet more efficient process of Council action by order, rather than relying on motions from the floor of the meeting.

This town has an extraordinary group of officials, staff, residents, business owners and others who participate in local government and it is an honor to work with all of you to continually make Bar Harbor even better.

Liz Graves
Town Clerk

Town Clerk - Statistical Report - Calendar Year

Dog Licenses	2022	2023
Kennel	1	1
Male/Female	94	63
Neutered/Spayed	613	524
Totals	708	587

Clam Licenses	2022	2023
Resident Commercial	2	1
Junior Resident Commercial	1	1
Resident Recreational	21	17
Over 65 Free	1	0
Under 18 Free	1	12
Non-Resident Commercial	0	0
Junior Non-Resident Commercial	0	0
Non-Resident Recreational	116	127
Totals	142	158

Hunt & Fish Licenses	2022	2023
Resident	157	147
Totals	157	147

Births Recorded	2022	2023
Bar Harbor Residents	10	25
Non-Residents	68	46
Totals	78	71

Marriages Recorded	2022	2023
Bar Harbor Residents	24	38
Non-Residents	212	221
Totals	236	259

Deaths Recorded	2022	2023
Bar Harbor Residents	58	60
Non-Residents	33	32
Totals	91	92

FINANCE DEPARTMENT

The Finance Department provides several important roles in the operation of town government. These roles include various treasury functions of cash management and investments, tax collection, motor vehicle registration and the collection and billing for most town departments. The department's role also includes accounting functions of budgetary management, accounts payable, payroll, cash disbursement and ambulance billing. The department oversees various budgets totaling approximately \$42 million, as well as investment reserves of approximately \$3 million. The Finance Office strives to manage the finances of the town in a prudent, efficient and transparent manner. We believe the town is strongly positioned to provide the services its citizens require at a reasonable tax obligation.

Personnel

The Finance Office continues with the leadership of **Betsy Spear** as *Tax Collector/Payroll Supervisor*. Betsy is the lead in the office effort to increase efficiencies through more effective use of our governmental financial software and web capabilities. **Jennifer Turcotte**, as *Ambulance Agent*, skillfully handles the electronic billing and collection activity for the ambulance service. She is in her 17th year here and is also responsible for Police, Harbor & Cruise Ship billings, monitoring parking permits, sewer liens, payroll backup and is our State Motor Vehicle Agent. **Margaret Porter** complements the finance staff with over 21 years of municipal experience. Margaret's main focus is on invoice payable duties for all funds, along with the related purchase orders, vendor maintenance reporting and invoice archiving for the General, Water and Wastewater Funds. **Elizabeth Barnhart Sweeney** joined the Finance Office last year. She serves as *Finance Accountant* and assists in specialty utility receivable reports, as well as reconciling all daily revenue transactions from staff, permit revenue processed by Code, and the parking revenues. **Zach Harris** came on board last year as the town *Human Resource Professional*. He brings extensive experience and professionalism to the position; his position is shared with the Town of Mount Desert. **Steve Weed** rejoined the Town in June of 2018 as the *Town Assessor* and has 30 years of service in the assessing field. His experience includes 19 years directly with Bar Harbor as well as expertise in mapping and in the critical maintenance of the GIS database of relevant images and data available for all the town's departments. **Hannah Chamberlain** joined the Assessing Office this fiscal year and quickly became a Certified Maine Assessor. The Assessing office provides the public with the *Maps on line* system and maintains the popular *Property Tax Look Up* system, which serves as a critical electronic resource to the public to better access certain tax billing data. Steve and Hannah track over 3,800 parcels and 400 personal property accounts.

Steve Cornell, who has been with us for 20 years, is the Town's *Technology Systems Administrator*, and focuses on management of its computers, backups, servers, internet, e-security, e-mail, video security systems for all Town departments, the WAN network, technology purchases, public wireless access in the parks, the Town website, television broadcasts, web streaming of government meetings, the phone system and helps maintain the radio frequency system monitoring of the Town utility pump/treatment

systems. This broad scope of responsibilities requires that he is often on call 24/7 to keep these essential networks and systems operating. **Stan Short**, *Video Systems Operator*, has been with the Town for 13 years on a part-time basis. He broadcasts and records Town Council and Board and Committee meetings for viewing on cable and internet.

Municipal Building

Part-time assistance is required to help oversee certain building maintenance issues and in 2023 this was the responsibility of **Randy Stanley**, who continues his other professional work while working here part-time. Randy kept the equipment and building operating safely and efficiently, walkways free of snow and ice, dealt with the many service contractors (elevator, sprinkler, fire alarms, electrical, plumbing, heating, cooling, ventilation, etc.), multiple tenants in the building, space rentals and the organization and storage of town records.

Financial Outlook

At the annual review of the 2023 fiscal year audit before the Council, the Town's auditor verified that the Town remained in stable fiscal health and received an unqualified favorable audit opinion. In accordance with the Council's *Fund Balance Policy* the Town maintains a balance of 10% of audited revenues as a working capital cash reserve in the Town's Fund Balance. The Town's *Standard & Poor's* bond rating was re-affirmed **AAA** in August 2023 (their highest rating) and re-affirmed its **Aa2** rating by *Moody's*; good ratings that help keep borrowing costs lower, especially for a small community. Both firms suggested within their reports that the Town's borrowing levels are low in reference to its capacity to incur new borrowing.

Both the *Wastewater* and *Water* Funds are "enterprise" funds; meaning that they are 100% self-supported by the users and not by taxpayer funds. The *Wastewater Division* rates increased by 18% this fiscal year, due to debt service for the Downtown Priority Infrastructure Project. Annual revenues billed to run the *Wastewater Division*, which pay operating expenses, debt service and capital investment are approximately \$3.2 million.

Water Division rates were last increased on January 1, 2016 and the Division is in solid fiscal health. Much of the water/sewer billing, tracking outside sewer deduction meters, collections and customer communications are handled at the *Water Division's* office by Office Manager **Nancy Warner**, but most other financial reporting is taken care of by staff in the Finance Office here on Cottage Street. Total annual water revenues generated are approximately \$2.9 million.

Property Taxes Receivable

Approximately 60% of the Town's total revenues are raised from property taxation. The 2023 annual uncollected taxes, expressed as a percent, at December 31st are a bit higher than the prior year. At fiscal year-end, June 30th of this past year, the Town's tax collection rate reached 98.8% on its 2022 taxes, with a remaining 69 unpaid properties placed on lien; up from 65 in the prior year.

Tax Year	Property Tax as of Dec. 2023		Property Tax as of Dec. 2022	
	Outstanding Balance	%	Outstanding Balance	%
2020	\$ 6,378	0.1%	\$ 20,515	0.1%
2021	\$ 28,198	0.1%	\$ 155,856	0.8%
2022	\$ 146,431	0.7%	\$ 7,740,776	38.7%
2023	\$ 8,801,418	39.7%		

Tax Rates

The Property tax rate for fiscal year 2023-2024 was \$8.68 per thousand dollars of valuation. The components of the tax rates for the fiscal years, 2021-22, 2022-23, and 2023-2024 are as follows:

	2021-22	2022-23	2023-24
Education	\$4.94	\$4.90	\$4.81
Municipal	\$4.37	\$4.00	\$3.50
County	\$0.43	\$0.42	\$0.37
Total	\$9.74	\$9.32	\$8.68

Vehicle Registrations

After real estate taxes, *vehicle excise taxes* are the next largest revenue generator for the Town (over \$1,250,000 in the last fiscal year). Total motor vehicle *unit* registrations (all types) decreased by 5% in the last year.

Calendar Year	2023	2022	2021	2020
Motor Vehicle Registrations:	4740	5012	5404	4947

Cruise Ship Fund

This fund, which is a component of the General Fund, was created in 2009/10 when fees were increased to \$4 per passenger. With cost of living annual increases, the fee was increased to \$5.37 per passenger 7/1/23. Funds to be spent are appropriated each year as part of the total Municipal appropriation vote at Town Meeting. The use of the funds raised each year is generally split 1/3rd each to three areas: *direct cruise ship related expenses* (Island Explorer, water quality studies, etc.), *capital improvement fund* for related items (e.g., Comfort Stations, Sidewalks, Park Fountains etc.), and *to support taxpayer funded operations* (police, ambulance, public works, comfort station cleaning and harbor department services) provided on cruise ship days.

Parking Fund

This fund collected \$3.2 million during the calendar year (payment with quarters, by credit/debit card or through the mobile apps). The monies fund the personnel and operating equipment related to parking enforcement and collections and costs related to parking permits. Within the confines of State law, the revenues are also utilized (as budgeted) to cover Town overhead, direct Town CIP/ Operational expenses and other related capital needs, such as certain debt and long-term capital projects that otherwise would come out of tax monies. Similar to the Cruise Ship Fund, this fund is a component of the General Fund and the appropriations are voted at the annual Town Meeting as part of the Municipal budget. Metered fees range from \$2.00 to \$4.00 per hour. The active season is from May 15 through October 30th.

Respectfully Submitted,
Sarah M. Gilbert,
Finance Director, Treasurer

ASSESSING DIVISION

As of April 1, 2023

Assessed Valuation of Taxable Property:	2022	2023
Real Estate	\$2,119,689,500	\$2,533,037,500
Personal Property	\$17,172,300	\$17,381,200
Real and Personal Property <u>TOTAL</u>:	\$2,136,861,800	\$2,550,418,700
Property Tax Rate (Per thousand dollars of valuation)	\$9.32	\$8.68
Property Tax Levy:	\$19,915,552	\$22,137,634
State Valuation:	\$1,903,400,000	\$2,040,000,000
County Tax:	\$896,367	\$947,755
State Revenue Sharing:	\$350,000	\$475,000

PROPERTY TAX RELIEF PROGRAMS:

Homestead Exemptions

In 1998, the State legislature enacted a new homestead exemption for Maine residents. Most homeowners whose principal residence is in Maine are entitled to a \$25,000 reduction in valuation. To qualify, homeowners must fill out a simple form declaring property as their principal residence by April 1 in the tax year claimed. Once the application is filed, the exemption remains until the owner sells or changes their place of residence. There are 943 parcels with the Homestead Exemption.

Veteran's Exemption

Any person who was in active service in the Armed Forces of the United States, and who, if discharged, was discharged, retired or separated under other than dishonorable conditions may be eligible for partial exemption provided that the veteran:

1. is a legal resident of the town; and
2. has notified in writing the Assessor of their claim for exemption; and
3. has reached the age of 62 years by April 1st; or
4. is receiving a pension or compensation from the United States Government for disability, either service or non-service connected, as a veteran.

The unmarried widow or widower of a deceased veteran may also qualify if the above criteria are met. There are 82 parcels with the Veteran's Exemption.

Blind Exemption

Residents who are determined to be legally blind are eligible for partial tax exemption on property owned and located in the town. There are 2 parcels with the Blind Exemption.

Business Personal Property Tax Reimbursement Program (BETR) - Provides business taxpayers with a reimbursement of the personal property tax paid on eligible business property placed in service within the state after April 1, 1995.

Business Personal Property Tax Exemption Program (BETE) - Provides business taxpayers with an exemption of the personal property tax on eligible business property placed in service within the state after April 1, 2008. More information and an application for exemption visit: www.maine.gov/revenue/propertytax/propertytaxbenefits/bete.htm

Tree Growth

The Maine Tree Growth Tax Law provides for the valuation of land, which has been classified as commercially harvested forestland on the basis of productivity value, rather than on fair market value. The State determines the 100% valuation per acre for each forest type classified by County. Once classified, any change in use or withdrawal from classification results in a supplemental tax penalty.

Farm and Open Space

The Farm and Open Space Tax Law provides for the valuation of land which has been classified as farmland or open space land on its current use as farmland or open space, rather than its potential fair market value for use other than agricultural or open space.

Farmland - Land registered for long-term agricultural use. The Assessor establishes the 100% valuation per acre based on the current use value of farmland utilized for agricultural or horticultural purposes and not potential developmental or market value uses. Once classified, any change in use or withdrawal results in a supplemental tax penalty.

Open Space - Registered land providing a defined public benefit through preservation or restrictions on use. The valuation for open space land is either the market value of open space land adjusted by the certified ratio or an alternative percentage-based method. The percentage-based method provides for reduction from market value relative to the restrictions placed on the property. The greater the restrictions on the property, the greater the reduction. Once classified, any change in use or withdrawal results in a supplemental tax penalty.

Senior Taxpayer Assistance Program

The Senior Taxpayer Assistance Program provides property tax relief to low-income senior citizens who live in the Town of Bar Harbor. To qualify, applicants must be 65 years of age or older and have lived in Bar Harbor for five consecutive years. Applicants must also have been approved to receive a Maine Property Tax Fairness Credit for the prior tax year. In 2023, the Assessing Office received 56 applications, 38 of which were approved for the program, receiving a combined tax relief of \$17,111.50. Applications will be available online and in the Assessing Office in early fall. The next application deadline will be December 1, 2024.

For more information and an application for any of these programs contact the Assessor's Office.

PLANNING DEPARTMENT

This has been a busy year for the Planning Department. Four Land Use Ordinance amendments were adopted and we drafted four more for adoption in 2024. Work on the Bar Harbor 2035 Comprehensive Plan stayed on track. We developed the plan’s vision, future land use plan and draft actions. We continued working on policies to address the housing shortage and are also working on increasing the housing stock. I am proud to say that the staff did an amazing job in 2023 to keep projects moving.

Projects working to address the housing shortage included the adoption by the voters of four Land Use Ordinance amendments: 1) elimination of the double setback distances; 2) removing district-wide floor area ratio provisions, 3) having the same building standards for both the conversion to multi-family use and new structure; and 4) removing the mandate for utilities to be placed underground. We prepared three housing-related amendments for adoption in June 2024: 1) expansion of where the Employee Living Quarter use is allowed; 2) expansion of where the Shared Accommodations use is allowed; and 3) the integration of the state-mandated provisions for increase housing opportunities. We also revised the Housing Policy Framework.

The Bar Harbor 2035 Comprehensive Plan stayed on schedule and significant strides were made. The Comprehensive Plan began in December of 2021. The project is overseen the Comprehensive Plan Committee and managed by the Planning Department. The committee has met monthly for two years. The Current Conditions Analysis Report was released in 2022. Extensive, meaningful public outreach and engagement has been part of the entire process. In 2023, the consultant, Resilience Planning & Design, developed the vision, the future land use maps, and drafted the plan’s action.

In 2022, an Act of Congress provided for 45-acres of land, owned by the National Park Service in Town Hill, to be used by the Town for affordable workforce housing to benefit the Island communities. During this last year, we worked closely with Acadia National Park to coordinate the steps needed to access the property and identifying existing conditions.

The Planning Department staffs three quasi-judicial boards — Appeals Board, Design Review Board and Planning Board. We also support the Conservation Commission and the Comprehensive Planning Committee. In 2023, we reviewed 62 project applications, attended 41 meetings/workshops, and organized 7 forums/listening sessions. The time and devotion and the work accomplished by the members of these groups is impressive, as shown by the summaries of their of accomplishments presented below.

APPEALS BOARD

Generally, the Board of Appeals hears appeals of decision made by the Code Enforcement Officer, Planning Board, and Design Review Board. In 2023, the Board met once to hear an appeal for the relocation of a non-conforming structure which they approved.

Board of Appeals	2022	2023
Administrative Appeals	3	0
Variance Requests	0	0
Relocations of Nonconformity	2	1
Requests for Reconsideration	0	0
Other	0	0
Workshops	0	0
Total Board of Appeals Activity	5	1

DESIGN REVIEW BOARD

The Design Review Board is charged to look at “those elements of development, redevelopment, rehabilitation, and/or preservation that affect the visual quality” for the areas covered by the Design Review Overlay District.

Design Review Board	2022	2023
Certificates of Appropriateness (Approved)	32	36
Land Use Ordinance Amendments (Sought)	1	1
Meetings	16	18
Workshops	3	2
Site Visits	2	0
Total Design Review Board Activity	54	57

PLANNING BOARD

The following tables summarize the Board’s work load in 2022 and 2023, with regard to development applications, as well as Land Use Amendment requests and workshop sessions.

Other Planning Department Tracking:	2022	2023
Checklist Reviews	24	13
Total Administration Activity	24	13

Planning Board:	2022	2023
Completeness Reviews	17	4
Site Visits	7	2
Neighborhood Meetings	0	0
Subdivision Sketch Plan Reviews	7	1
LUO Amendment Requests (from Public)	4	0
LUO Amendment Proposals (from Town)	1	4
Site Plan Approvals	11	3
Subdivision Lots Approved	13	10
Subdivision Dwelling Units Approved	42	0
Minor Subdivisions Approved	2	1
Minor Site Plans Approved	4	3
Workshop Sessions (including Joint WS)	4	2
Conditional Use	0	0
Total Planning Board Activity	112	30

CONSERVATION COMMISSION

Generally, the mission of the Conservation Commission includes enhancing the conservation of natural resources, protecting water and shoreland, and enhancing the value of public parks and open spaces.

Conservation Commission	2022	2023
Meetings	6	6
Workshops/Work Sessions	5	6
Total Conservation Commission Activity	11	12

COMPREHENSIVE PLANNING COMMITTEE

The 14-member Comprehensive Planning Committee is tasked with guiding the direction of the new Comprehensive Plan, Bar Harbor 2035. In 2023, the committee met 11 times. Some of the 2023 accomplishments include the drafting of the plan’s vision, the future land use map, and proposed actions. This work was informed by residents that attended community forums, voiced their opinions using online tools, and responded to Polco surveys; as well as meetings with Boards and Committees, and Town staff.

I am thankful to the Planning Department staff — Tammy DeJardin and Cali Martinez — who work diligently to meet the needs of the community and the customers.

Respectfully submitted,
Michele Gagnon, Planning Director

With gratitude, we list the residents below who provided active service to the Town in 2023:

BOARD OF APPEALS

Ellen Dohmen, Chair	Term Exp. 2024
Anna Durand, Vice-chair	Term Exp. 2026
Robert Webber, Secretary	Term Exp. 2026
Heather Peterson	Term Exp. 2024
Cara Ryan	Term Exp. 2025
Michael Siklosi	Term Exp. 2025

COMPREHENSIVE PLANNING COMMITTEE

Elissa Chesler
Jacquie Colburn
Greg Cox, Chair
Kevin DesVeaux
Cherie Galyean
John Kelly, Co-Chair
Jim Mahoney
Mike McKernan
Misha Mytar
Kristin Murphy
Valerie Peacock
Allison Sasner
Kyle Shank
David Woodside

CONSERVATION COMMISSION

(There are currently two vacant seats on the Conservation Commission)

Jacquie Colburn, Chair	Term Exp. 2024
Christian Barter	Term Exp. 2024
Ted Koffman	Term Exp. 2024
Lucian Smith	Term Exp. 2026
Lars Larson	Term Exp. 2026

DESIGN REVIEW BOARD

(There is currently one vacant seat on the Design Review Board)

Barbara Sassaman, Chair	Term Exp. 2026
Francis “Pancho” Cole, Vice-chair	Term Exp. 2024
Andrea Lepcio, Secretary	Term Exp. 2026
Kate Macko	Term Exp. 2025
Mike Rogers	Term Exp. 2025

PLANNING BOARD

(There is currently one vacant seat on the Planning Board)

Millard Dority, Chair	Term Exp. 2026
Ruth Eveland, Vice-chair	Term Exp. 2024
Elissa Chesler, Secretary	Term Exp. 2024
Joseph Cough	
Zach Soares	Term Exp. 2025
Cosmo Nims	Term Exp. 2024
Clark Stivers	Term Exp. 2025

CODE ENFORCEMENT DIVISION

The Code Enforcement Division’s primary mission is to provide the public with the best customer service by continually striving to be more effective and efficient and to ensure that the public is informed of how Code Enforcement procedures relate to everyday life in regards to safety.

Notable projects permitted this year include the construction of the 84 bed Shared Accommodation building on 39 Kebo Street, the Bar Harbor Community Solar project on Knox Road, the reconstruction of the Bluenose Inn after it was destroyed by fire, an addition to the Mount Desert Island Hospital, an addition to the Jesup Memorial Library, and the demolition and reconstruction of Peekytoe Provisions on Main Street.

Building Permits by Category	2023	Value
New Dwellings	48	\$18,866,810
Commercial/Industrial Permits	117	\$40,116,519
Garages/Additions/Other Improve.	195	\$9,075,929
Totals	360	\$68,059,258
Value of Improvements to Tax Exempt Properties		\$20,861,789
Total Value of Improvements to Taxable Properties		\$47,197,469
Building Permit Activity	2023	2022
Total Value of Building Permits	\$68,569,258	\$49,569,046
Value of Taxable Projects	\$47,197,469	\$35,026,666
Number of Building Permits	360	326
Number of New Dwellings	48	45
Number of Plumbing Permits	121	140

Number of Electrical Permits	239	275
Number of Site Inspection	716	735
Scheduled Conferences in Office	306	228
Vacation Rental Permits Issued	658	676
Vacation Rental Inspections	366	205
Long-Term Rental Registrations*	468	0
Violation Letters Sent	23	19

*Implemented in 2023

Administration

The Code Enforcement staff attended a variety of training programs in 2023. It is the goal of this department to remain informed of Federal, State, and Local codes as they relate to providing safety and code compliance.

Several significant building code updates are scheduled to be adopted by the State of Maine and the Town of Bar Harbor in the spring of 2024. These changes include adopting the 2021 editions of the International Residential Code (IRC), the International Building Code (IBC), the International Energy Conservation Code (IECC), and the 2023 edition of the National Electrical Code (NFPA 70 or NEC). The State of Maine updated the Subsurface Wastewater Rules in September. These rules govern the design, installation and operation of septic systems. The Code Enforcement Division will continue to provide information, conduct outreach efforts, and post regular updates on regulatory changes. Code training opportunities will be provided to assist contractors and homeowners adapting to the code changes. The Code Enforcement Division website is regularly updated with guidance documents on these updates and other useful information.

In 2022, the Code Enforcement Division launched a new permitting program with an online permitting function. This has improved the permitting process for customers, increases productivity, and improves service delivery. The program allows customers to apply online, check their permit status, and make online payments. We welcome feedback on ways to improve the permitting process.

In closing, the Code Enforcement Division would like to thank the citizens of the Town of Bar Harbor for periodically adjusting to the changes in code and helping to make our job easier to enforce the changes and to insure their compliance.

Angela M Chamberlain
Code Enforcement Officer

Code Enforcement Office Staff

Angela Chamberlain, Code Enforcement Officer
Michael Gurtler, Deputy Code Enforcement Officer
Tammy DesJardin, Administrative Assistant

BAR HARBOR FIRE DEPARTMENT

Mission Statement:

The Bar Harbor Fire Department's Mission is to provide a wide range of programs and services, including fire prevention, fire suppression, and emergency medical services. These services are designed to protect the lives and property of the citizens and visitors to the Town of Bar Harbor from adverse effects of fire, medical emergencies, and man-made or natural disasters.

Fire Department Guiding Principles:

- Community
- Department
- Individual

For 2023, we responded to 1041 EMS and 812 fire calls, for a total of 1853.

Tanker 1 was refurbished, and we anticipate the refurbishment to extend the life of the truck by five years. Major items that were repaired or refurbished; pump, brakes, suspension, tires, fuel tank and rear water discharge.

We conducted public education trainings that included CPR, Stop the Bleed, and Narcan use. For the Narcan trainings we distributed over 340 boxes of Narcan throughout the MDI communities during trainings. Trainings were conducted for the public, school staff, and college students.

Bar Harbor Fire Department was the first EMS agency in the state to pilot the EMS OPTIONS field referral program. The OPTIONS Referral will allow Maine EMS clinicians to refer patients to an OPTIONS liaison that can provide access to resources that can help the patient access recovery and treatment resources. OPTIONS liaisons are behavioral health professionals that collaborate with first responders within EMS and law enforcement throughout every county in Maine.

We conducted and hosted many interagency trainings. Trainings were open to all Fire/EMS agencies on the Island and surrounding off island agencies.

The Fire Department has become a Maine Bureau of Highway Safety child passenger seat distribution site. Distribution sites are where income eligible families can make an appointment with a certified car seat technician to obtain a car seat.

The Bar Harbor Fire Department continues to work collaboratively with all the first responding agencies on the Island, and Mount Desert Island Hospital. The Island Chiefs meet regularly to discuss recruiting, training, and other ideas that will improve the services we provide for not only our town, but also to each other's communities.

In closing, I would like to take this opportunity to express my sincere thanks to the following individuals and agencies, Town Manager James Smith, The Honorable Town Council,

Department Heads and their respective departments, and especially to the members of the Fire Department and their families.

Matthew Bartlett, Fire Chief

Bar Harbor Fire Department Staff

Full-Time Staff

Fire Chief Matthew Bartlett

Deputy Chief of EMS John Lennon (Shared with the Town of Mount Desert)

Assistant Chief of Fire Operations Basil Mahaney

Captain Jai Higgins

Captain John Sanders

Captain Jon Wardwell

Firefighter/EMT-B Phil Richter

Firefighter/Medic Sean Hall

Firefighter/EMT-B John Barnes

Firefighter/EMT-B Wyatt Smith

Firefighter/EMT-A Samantha Dixon

Firefighter/EMT-B Brandon Eugley

Firefighter/EMT-B Aleksandra Pond

Firefighter/EMT-B Ronald Gray Jr.

Firefighter/EMT-B Aidan Pratt

Firefighter/Medic Randy Lowe

Call Staff/Part-Time Staff

Capt. Dan Daigle

Lt. Matthew Horton

Zach Soares

Brian Crater

Larry Nuesslein

Marc Wilhelm

Tehgan Oswald

Griffin Costello-Sanders

Darcy Kerr

Darron Collins

Rob Benson

Jeff Miller

Dave Ouellette

Fire Department Core Operations

- Fire Suppression
- Emergency medical treatment & transport
- Advanced Life Support and mutual Fire/EMS for surrounding communities, including Acadia National Park
- Work Collaboratively with Federal, State, County and Local Agencies
- All Hazards Mitigation
- Daily FD Operations
- Preplan and train for the variety of incidents we respond

- Records management, reporting, and compliance for state and federal agencies
- Meet the seasonal demand created with tourism
- Participate with Technical Review Team and Planning Board Applicants
- Daily Fire/EMS training

Fire Department Community Outreach

- Fire Prevention
- Home safety inspections
- Fire extinguisher inspections
- School Visits and Fire Drills
- BH Housing Educational Presentations
- Knox Box Program
- Burn Permits
- Home smoke detector checks
- CPR Classes
- Stop the Bleed classes
- Continuing Education for fire/EMS
- Pulse Point AED Program
- Provide Color Guard for Community Events
- Car seat inspection, installation & education
- Narcan give away program and training on how to administer Narcan

Bar Harbor Fire Department

Bar Harbor, ME

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Incident Type Count per Station for Date Range

Start Date: 01/01/2023 | End Date: 12/31/2023

INCIDENT TYPE	# INCIDENTS
Station: ST1 - BAR HARBOR FIRE STATION	
100 - Fire, other	4
111 - Building fire	5
113 - Cooking fire, confined to container	3
114 - Chimney or flue fire, confined to chimney or flue	1
116 - Fuel burner/boiler malfunction, fire confined	1
118 - Trash or rubbish fire, contained	2
141 - Forest, woods or wildland fire	3
142 - Brush or brush-and-grass mixture fire	2
223 - Air or gas rupture of pressure or process vessel	1
300 - Rescue, EMS incident, other	2
311 - Medical assist, assist EMS crew	29
321 - EMS call, excluding vehicle accident with injury	51
322 - Motor vehicle accident with injuries	23
324 - Motor vehicle accident with no injuries.	21
351 - Extrication of victim(s) from building/structure	1
353 - Removal of victim(s) from stalled elevator	2
356 - High-angle rescue	1
365 - Watercraft rescue	2
381 - Rescue or EMS standby	4
400 - Hazardous condition, other	3
410 - Combustible/flammable gas/liquid condition, other	3
411 - Gasoline or other flammable liquid spill	2
412 - Gas leak (natural gas or LPG)	12
413 - Oil or other combustible liquid spill	1
420 - Toxic condition, other	1
422 - Chemical spill or leak	1
424 - Carbon monoxide incident	14
440 - Electrical wiring/equipment problem, other	30
444 - Power line down	7
445 - Arcing, shorted electrical equipment	3
462 - Aircraft standby	31
500 - Service Call, other	8
511 - Lock-out	5
520 - Water problem, other	8
521 - Water evacuation	3
522 - Water or steam leak	3
531 - Smoke or odor removal	5
541 - Animal problem	3
550 - Public service assistance, other	15
551 - Assist police or other governmental agency	5
552 - Police matter	1
553 - Public service	8
571 - Cover assignment, standby, moveup	5
600 - Good intent call, other	14

611 - Dispatched & cancelled en route	15
622 - No incident found on arrival at dispatch address	4
631 - Authorized controlled burning	6
650 - Steam, other gas mistaken for smoke, other	1
651 - Smoke scare, odor of smoke	16
652 - Steam, vapor, fog or dust thought to be smoke	2
671 - HazMat release investigation w/no HazMat	2
700 - False alarm or false call, other	4
710 - Malicious, mischievous false call, other	2
711 - Municipal alarm system, malicious false alarm	1
715 - Local alarm system, malicious false alarm	8
730 - System malfunction, other	22
731 - Sprinkler activation due to malfunction	3
733 - Smoke detector activation due to malfunction	64
734 - Heat detector activation due to malfunction	4
735 - Alarm system sounded due to malfunction	48
736 - CO detector activation due to malfunction	6
740 - Unintentional transmission of alarm, other	9
741 - Sprinkler activation, no fire - unintentional	4
743 - Smoke detector activation, no fire - unintentional	111
744 - Detector activation, no fire - unintentional	24
745 - Alarm system activation, no fire - unintentional	82
746 - Carbon monoxide detector activation, no CO	5
900 - Special type of incident, other	11
911 - Citizen complaint	4

Incidents for ST1 - Bar Harbor Fire Station: 807

Station: ST2 - TOWN HILL STATION	
100 - Fire, other	1
111 - Building fire	1
322 - Motor vehicle accident with injuries	1
571 - Cover assignment, standby, moveup	1
745 - Alarm system activation, no fire - unintentional	1

Incidents for ST2 - Town Hill Station: 5

EMS Calls	
Incident Patient Disposition	Count of Incidents
Assist - Agency	4
Assist - Public	6
Assist - Unit	1
Canceled (Prior to Arrival At Scene)	31
Canceled (Prior to En Route)	2
Canceled (Request Transferred to Another Provider)	6
Dead at Scene-Resuscitation Attempted (Without Transport)	5
Intercept	16
No Patient Found/Contact	43
Patient Evaluated, No Treatment/Transport Required	55
Patient Refused Evaluation/Care (Without Transport)	45
Patient Treated - Refused Transport	126
Standby - No Patient Contact	9
Standby - Public Safety Support	3
Treated - Transported by this EMS Unit	681
Treated, Transferred Care to Another EMS Unit	5
Not Reported	3
Grand Total	1041

POLICE DEPARTMENT

January 1, 2023 through December 31, 2023

To the Town Manager, the Honorable Town Council and the citizens of the Town of Bar Harbor, I hereby submit the 2023 Annual Report for the Police Department. The Bar Harbor Police Department's primary mission is to protect and serve our community to the greatest extent possible, to protect life and property, and to prevent crime by delivering the best possible law enforcement services.

Our Patrol Division and Dispatch Office are staffed 24/7. Our Public Safety Dispatch Services are enhanced with redundancies between MD and BH facilities and federal radio frequencies. In 2022, due to a staffing shortage with overnight dispatching in Mount Desert PD, we closed our dispatch center from 11pm-7am with all calls being forwarded to Bar Harbor PD. Because of our dispatch enhancements and redundancies between the two towns, this proved to be very successful and we have continued to operate with this schedule on a permanent basis.

Our staff consists of 21 full time sworn officers (6 Mount Desert & 15 Bar Harbor) and 7 dispatchers (3 Mount Desert & 4 Bar Harbor), 1 Dispatch Supervisor (MD), 1 Mental Health Liaison (BH), 1 Assistant Harbormaster (BH), 1 Animal Control Officer (BH & MD), and several seasonal staff for parking enforcement and cruise ship activities. Our dispatch supervisor is trained as our Terminal Agency Coordinator (TAC), responsible for ensuring all staff complies with FBI regulations for our NCIC terminals. All full-time dispatchers are certified as Terminal Control Operators. Our dispatchers answer general questions about the town and dispatch for Police, Fire, EMS, Public Works employees and school buses. We offer a Good Morning Program to our elderly population which allows our daytime dispatchers to make daily phone contact with each participant to ensure their well-being. We currently have six participants in this program; three are Mount Desert Residents and three are Bar Harbor Residents. Anyone interested in participating in this program can contact the Mount Desert & Bar Harbor Police Department for more information.

All of our Police Officers have law enforcement authority in both towns. Our Officers are encouraged to develop specialties, many of which require special training and certifications. Among our full-time patrol staff, we have two certified Drug Recognition Experts for impaired driving enforcement, several Field Training Officers for training new Police Officers, one trained School Resource Officer who serves in the local school system pursuant to our Memorandum of Understanding with AOS 91, Certified Firearms Instructors to provide biannual training for our Police Officers and to instruct on behalf of the Maine Criminal Justice Academy. In addition, we have Taser & Use of Force Instructors, a Forensic Interviewer for children disclosing sexual abuse and eight Officers with Crisis Intervention Training. These officers have completed 40 hours of specialized training focused on de-escalation and community-based services for people experiencing mental health crisis. Our Officers are encouraged to be involved with our community. If you have an idea you think can help with those efforts, please get in touch with us so we can work together to strengthen our community relationships.

During 2023, our long time Police Chief James Willis retired and former Captain David Kerns, who is a Bar Harbor employee, was promoted to the position of Police Chief. The Towns of Bar

Harbor & Mount Desert continue to share their Police Chief. Through our new formal agreement between the two towns, the Chief’s time is split between the two communities and Mount Desert pays Bar Harbor for 40% of the expenses related to this position. This agreement also allows us to share our Captain, Administrative Assistant and Mental Health Liaison, all of whom are Bar Harbor employees. The Town of Mount Desert reimburses the Town of Bar Harbor for 40% of the expenses related to these positions.

We continue to utilize a single work schedule for our patrol and supervision of both PD’s that provides for a minimum number of officers to be on duty at a time, and for a supervisor to be on duty 18 to 20 hours a day, seven days a week. Supervisors provide on-call coverage during the remaining overnight hours. Our towns are divided into 3 patrol zones which ignore town lines and create enhanced call response times when compared to our departments working independently. Officers from both PD’s routinely patrol and respond to calls in both towns, which helps us achieve our goal of enhanced services for our communities. Our policies and procedures are fully acclimated, as are our equipment and radio communications and records management systems.

During calendar year 2023, the Police Department responded to approximately 4,547 incidents in Bar Harbor. Of these incidents, 252 resulted in individuals being charged with criminal offenses and 155 involved traffic tickets issued for non-criminal traffic infractions. In addition, many warnings were issued for a variety of offenses. Below is a summarized listing of the types of incidents we responded to with totals for each. While not inclusive of all incidents, this listing provides an overview of Police Department related activity in town.

False 911 Calls - 863	Lost/Found Property - 540	M/V Accidents – 332; 34 w/injury	M/V Complaints- 240
Citizen Assist - 237	Activated Alarms - 178	Suspicious Activity - 172	Animal Problem - 172
Well-Being Check - 134	Traffic Hazzard – 86	Operating Under the Influence – 80	Parking Complaint - 72
Noise Complaint - 60	Disorderly - 58	Trespassing - 52	Mental Illness - 48
Theft – 44	Disabled Motorists – 43	Domestic - 33	Harassment - 30
Intoxicated Persons – 28	Property Damage - 28	Civil Problem - 27	Fraud Complaints - 27
Special Details - 22	Warrant Arrests - 21	Citizen Dispute - 19	Vandalism - 18
Municipal Violation - 15	Sex Offense - 14	Assault - 12	Threatening - 12

Special Services Division

The Bar Harbor and Mount Desert Police Department Special Services Division includes the Bar Harbor, Harbor Department, Bar Harbor and Mount Desert Parking Programs including enforcement, all activities related to cruise ship planning, coordination and management of visits, shellfish enforcement, street light management, and training coordination for the police departments.

The Harbor Department consists of one full-time Harbormaster Assistant and one seasonal assistant. In the summer months, the Port Security Office is staffed from 7AM to 5PM Monday through Sunday and in the winter from 8AM to 4PM, Monday through Friday. With the merger of the Harbor Department into the Police Department, we are able to provide increased office coverage and better staffing levels, providing a higher level of service to the community. The Harbor Department performs a variety of daily tasks ranging from making reservations for transient yachts to transporting medical crews to emergency scenes on the water.

2023 was another busy year for the department seeing high numbers transient yachts at our docking facility and rental moorings and heavy use of the pier and other related infrastructure by the commercial fishing fleet. We had 125 cruise ships call to Bar Harbor in 2023 with a total lower berth capacity of 238,620 passengers. Our civilian parking enforcement staff performed the role of traffic control for all of the cruise ship visits in 2023. We responded to several calls for service using the Police Boat and patrolled the harbor and the bay on a regular basis.

The Parking Division consists of 5 to 10 seasonal enforcement staff including the Parking Manager. This division is responsible for parking enforcement in both towns. Parking Enforcement staff are on duty from 8AM to 9PM, 7 days per week from May 15th to October 30th.

Parking Enforcement staff perform a variety of functions in their daily roles including general maintenance and repair of the parking system, issuing parking tickets to violators, responding to parking complaints by citizens, providing traffic control and oversight for cruise ship visits and assisting the Police Department with traffic control at emergency scenes. In the summer of 2023, Parking Enforcement staff issued over 5,000 parking citations in Bar Harbor and the paid parking system earned over \$3 million dollars in revenue.

We continue to cross train many staff members to work in both the Parking and Harbor divisions allowing us to provide enhanced services and a high level of responsiveness and customer service. Our staff will continue to strive to enhance the level of service we provide to the Citizens and Visitors of Bar Harbor and strengthen relationships with our community.

Respectfully Submitted,

David Kerns
Chief of Police

Bar Harbor Police Department Staff

Chief David Kerns

Officers

Captain Christopher Wharff

Sergeant Douglas Brundrett

Sergeant Soren Sundberg

Officer Timothy Bland

Officer Timothy Frost

Officer Judson Cake

Officer Jerrod Hardy

Officer Christopher Dickens

Officer Elias Burne

Officer Caleb Mora

Officer Aime Torrey

Officer Nathan Formby

Officer Troy Stanwood

Officer Lukas Keene, Part Time

Officer Shelby O'Neil, Part Time

Administrative Assistant

Karen Richter

Harbormaster

Captain Christopher Wharff

Harbormaster Assistant

Chris Johansen

Jimmy Differ – Part Time/Seasonal

Dispatchers

Lori Bartlett

Nicole Austin

Samuel Horne

Shelby O'Neil – Part Time

School Crossing Guards

Susan Murphy

Cas Dowden

Parking Enforcement

Captain Christopher Wharff

Scott Pinkham, PE Manager

Susan Murphy, Parking Attendant

Animal Control Officer

Scott Pinkham

Cleaning Assistant

Claudia Broadie

HARBOR COMMITTEE

Kaitlyn Mullen	Term Exp. 2025
Larry Nuesslein III, Vice Chair	Term Exp. 2024
Robert Garland	Term Exp. 2026
Jamie Weir, Secretary	Term Exp. 2024
Francis “Pancho” Cole	Term Exp. 2026
Jon Carter	Term Exp. 2024
Micala Delepierre	Term Exp. 2025
Ed Monat	Term Exp. 2025
Jeff Miller	Term Exp. 2024
Andrew Keblinsky	Term Exp. 2026

Staff: Harbormaster Chris Wharff

MARINE RESOURCES COMMITTEE

Chris Petersen, Chair	Term Exp. 2025
Matt Gerald, Vice Chair	Term Exp. 2024
Joanna Fogg	Term Exp. 2025
Fiona de Koning	Term Exp. 2026
Natalie Springuel	Term Exp. 2026
Scott Swann	Term Exp. 2026
John Avila, Secretary	Term Exp. 2024

Staff: Shellfish Warden Chris Wharff

Shellfish Warden Chris Johansen

PUBLIC WORKS DEPARTMENT

As the department's Director, my primary objective is to ensure that each division functions in accordance with our mission statement which is:

To operate, maintain and improve the Town's infrastructure, including our roads, sidewalks, parks, buildings, storm drain systems, wastewater system, water system, solid waste and recycling facilities, as efficiently and professionally as possible, while treating taxpayers, ratepayers, visitors and employees in a helpful, friendly and courteous manner, and abiding by the American Public Works Association Code of Ethics.

This year, we continued to progress the projects outlined in the voter-approved bond for the Priority Infrastructure Improvements Projects. General funds are covering the stormwater, sidewalk and road improvements of these projects. Construction of the Main Street Sewer, Water and Stormwater Improvements project was begun on November of 2023. We have an agreement with Maine DOT to pay for the stormwater improvements that are being made under the Town's project. To date, significant progress has been made on the sewer main improvements. Other projects that are in the design phase are the (1) West Street Pump Station, Retaining Wall and Shared Use Path extension; (2) Hancock Street Sewer, Water and Stormwater Improvements Project; (3) Rodick Street Water, Stormwater and Utility Undergrounding Project; and (4) Cottage Street Sewer, Water and Stormwater Improvements Project.

We were awarded two grants that significantly reduce the amount of project funds needed from general taxation: FEMA/MEMA's Hazard Mitigation Grant Program funding of \$220,104 to develop a Stormwater Hazard Mitigation Plan that will assist us in making future improvements to the Town's stormwater conveyance system that will provide resiliency for our road network. The second grant we were awarded was the Maine DOT Stream Crossing Grant in the amount of \$200,000 to help fund the culvert replacement at Crooked Road/Norway Drive.

In order to achieve our mission and delivery projects as efficiently as possible, the Department is separated into four operational divisions: Highway, Solid Waste, Water and Wastewater. The operational aspects of the Divisions are handled by the respective superintendents.

Highway Division

The Highway Division not only handles the roads, sidewalks, drainage systems, and roadside trees throughout the year, but also handles operations for Parks and Recreation, cemeteries, comfort stations, as well as installing / uninstalling parking meters. Additionally, the mechanics within the Highway Division are performing maintenance work and inspections for the entire fleet of Town-owned vehicles, including Police and Fire Departments.

Compared with the previous year that dropped 65 inches of snow during 2022, the Highway Division maintained the response to 64 inches of snow during the storms from January

through December 2023. Approximately 5,508 cubic yards of snow were hauled out of the downtown area. An in-town winter sand pile for residents was maintained for 24-hour access on lower Ledgelawn Avenue and at the Public Works Facility in Hulls Cove.

Residents continue to benefit from the leaf composting area at the Public Works Facility by depositing leaves and grass clippings throughout the year. This self-serve operation is very popular. The Highway equipment operators manage the mountainous quantities (500-plus tons), and residents return in the spring to obtain the rich composted material.

The scrap metal recycling sited at Public Works is also highly frequented for deposits by residents and businesses. This remains one of the few recycling items that continues to generate revenue for the Town. The 2023 metal pile revenue and tons are reported under Solid Waste below.

On-going parking meter and kiosk installations, repairs and replacements continued throughout 2023. The spring and fall clean-up programs continued as usual. Approximately 350 tons of catch basin grit and street sweepings were removed throughout the Town. The construction season yielded several projects, including on-going Town-wide culvert and basin cleaning, asphalt repair and pot hole filling. Additionally, there was sidewalk restoration on sections of Main Street, Kennebec Place, Holland Avenue, and the east and west sides of the Town Pier. Paving projects included: Otter Cliff Road, Woodbury Road, Devon Road, Rockwood Road, East Road, Indian Point Road, Holland Avenue and the entrance to the Connors Emerson School parking lot.

Three curb cut applications were approved by Town Council in 2023 at 8 Summer Street, 22 Kennebec Street and 64 Cottage Street.

The temporary Cromwell Bridge #3, a Maine Department of Transportation (DOT) bridge, on lower Ledgelawn Avenue remained open to one -way traffic while DOT progresses with engineering to repair the bridge. The bridge is in poor condition, and a temporary bridge structure was required to protect the integrity of the existing bridge.

Survey and engineering design work progressed for the Sand Point Road retaining wall, Norway Drive / Crooked Road stream crossing, Rodick Street reconstruction, Atlantic Avenue drainage issues, and streetscape undergrounding projects.

When Acadia National Park reclaimed the loaner screen from the Town, the Highway Division was fortunate to secure a used power screen that is employed to screen the leaf pile to provide screened compost material as well as break up sand clumps for winter road application. The replacement of the “home-made” brine making equipment with commercial equipment has resulted in significant improvements to winter road operations. The timeframe to produce the brine has been reduced from 24 hours to one hour. It further provides for quick material replacement and labor availability to address winter road conditions.

One of the Highway Division's activities has been to source and provide vehicle fuel to all of the Town's municipal vehicles as well as to the Bar Harbor Housing Authority, school busses and to Connors Emerson. The over-forty-year-old fuel tanks were inspected in the fall of 2023 and found to be in such deteriorated condition as to cause the immediate shut-down of the operation. The replacement project is underway.

Parks and Recreation

The Parks and Recreation Committee held ten meetings in 2023. They worked on issues related to Town parks; athletic fields and playgrounds; Glen Mary woods and pool; and reviewed event permit applications. The Committee membership saw some changes in 2023: Desiree Sirois resigned in June; Erin Cough was appointed to the vacancy in July. Also, Bob Huff resigned from the YMCA in August; and therefore, the YMCA representative to the Committee: YMCA Executive Director Ann Tikkanen stepped into service. The other current Committee members are John Kelly, Greg Veilleux and Jeff Dobbs.

The ball diamond collaborative maintenance arrangement with the Acadian Little League (ALL) continues to the benefit of all users of the Athletic Field. For the second year, the YMCA entered into a lease agreement with the Town for day time use of a specific ballfield for YMCA summer camps from June through August.

The Town Band resumed performances on the Village Green. Other groups took to the parks: art shows, the Corvette display, sports games, half-marathons, the Marty Lyons Little League Classic Tournament, movies on Agamont Park, luminary event, weddings, the Pancake Breakfast/Seafood Festival and other interest groups.

The Committee responded to requests for an in-town Bar Harbor dog park on public property, with great public input for ideas. Following several months of study and discussions, the Committee determined that it does not recommend the addition of the facility in-town or on other Town property outside of the downtown.

The Glen Mary Woods and Pool is a leased property from the Village Improvement Association. The Glen Mary Wading Pool was damaged and unable to open in 2022 and 2023; however, the Committee has received a lot of public input on what features should be designed into its replacement. Design for the improvements project is being developed by the Village Improvement Association.

The Main Street Sewer, Water and Stormwater Improvements project is utilizing the gravel parking lot off of Main Street with the understanding that the Contractor will restore the Parking lot and pave it before the completion of the project. Additionally, the paved parking lot was also used by the Contractor as a staging area for the winter months.

Cemeteries

Cemeteries continued to be maintained throughout the year.

Benches and Bike Racks

Crews continued to perform on-going maintenance on benches and bike racks. No new benches or bike racks were added in 2023.

Trees

Ongoing tree maintenance with trimming and chipping was conducted. Trees were removed from the Village Green and Agamont Park.

Solid Waste Division

The Municipal Review Committee, Inc. (MRC) acquired the solid waste processing facility in Hampden through a special purpose entity, Municipal Waste Solutions, LLC (MWS), which is wholly owned by MRC. The MRC announced the partnership of Innovative Resource Recovery to become co-owners with MWS to enhance operational efficiencies and expand recycling capabilities to include production of renewable natural gas. The Hampden facility remained closed throughout 2023, and extra solid waste hauling costs continued during 2023 to transport waste to alternate disposal sites.

William Shephard joined the Solid Waste Division for a short-term employment at the facility and moved on after six months. The Division is in the recruitment process to fill a Foreman position. Highway employees continue to support Solid Waste operations while there is a shortage of staff.

Municipal Solid Waste (MSW)

For our MSW, a 1% decrease was witnessed in 2023 from the previous year. In 2022, we shipped 5,036 tons of MSW compared to 4,978 tons in 2023. The additional MSW hauling cost in 2023 was \$57,513. We are currently continuing to send our MSW to Juniper Ridge in Old Town.

Single Sort Recycling (SSR)

In 2023, we shipped 666 tons of SSR to Casella Waste Systems, a recycling facility in Old Town. Compared with 654 tons in 2022, this represents an increase in SSR tonnage of roughly 2% at an extra cost of \$50,983.

Metal Recycling

Scrap metal revenues continue to fluctuate with the market. We recycled 184 tons, which netted \$13,688 in 2023. For comparison, 141 tons of scrap metal were recycled in 2022, which netted \$12,703.

Water Division

In 2023, Nancy Warner, the Office Manager for 19 years, retired at the end of 2023. Christian Gilbert was hired on as the new Business Analyst and Office Manager in December 2023. Water remains at a staffing level of six full time employees and one full time vacancy.

Unlike previous years, the Water Division experienced no unplanned water main breaks. Hydrants were replaced along Main Street in conjunction with sidewalk projects as well as on Ash Street, Kebo Street, and West Street Extension.

At the beginning of 2023, there were 1908 customer water meters. At the end of 2023, there were 1927 total customer water meters.

We are continuing to use the PeopleGIS system for mapping the water mains, service valves, hydrants and other infrastructure. This program allows us to map the infrastructure in the field while performing our daily tasks. We continue to link the valves and hydrants to the asset management system, which allows us to keep track of maintenance completed on individual assets.

The Duck Brook facility continues to function well since the upgrades in 2013. This year, we treated about 336,270,000 gallons of water as compared to 380,431,300 gallons in 2022. The average daily amount treated was 921,287 gallons with a peak of 3,722,400 gallons on June 1st.

Wastewater Division

The Wastewater Division maintained a full staff of eight since February 2023, with its newest member being Chris Barlow.

The year ended with a recorded total rainfall of 70.89 inches, which resulted in nine overflow events for 2023 versus twenty for 2022. Intensity and length of storms are leading contributing factors to overflows. Additionally, collection system rehabilitation projects, including main replacements, point source repairs, manhole replacements and flow monitoring, have all contributed to the reduction of inflow and infiltration (I&I) flow into the collection system. This approach has proven to reduce overflow events.

To assist with our Combined Sewer Overflow (CSO) program, the Town currently has 29 in-system flow meters at key locations throughout the collection systems in the downtown area and hulls cove area, compared to 23 meters last year. This year we added 6 new meters with new 4G cellular modems. The flow meter data is being used to develop a hydraulic model of our collection system to allow us to understand the system's response to rain events and to allow us to model the various options of reducing our CSO volumes.

Vital to the I&I removal efforts is the collection system crew's work. Included this year was the inspection of 29,000 linear feet and cleaning of 4,784 linear feet of sewer mains by our line maintenance crew. These efforts determine the condition of the collection system and facilitate the planning and implementation of necessary improvements.

Of course, your Wastewater crew continues routine work which includes, but is not limited to, property inspections, grease trap inspections, dig safe work, sludge dewatering and hauling, septic receiving, mandated laboratory testing, sewer connection permits, plant tours and safety/professional/compliance training. The inspector processed seven new sewer

connection permits this year. Besides the specific tasks above, the Wastewater crew performs routine maintenance on three wastewater treatment plants and eleven pump stations. In addition, the Hulls Cove pump station was rebuilt in 2023.

In addition to all of the activities described above, all public works staff stepped up to the challenges we faced in 2023, including increases in land-based tourism, supply chain issues, staff turnover, and fully integrating new and promoted employees into their new positions. I'm proud to lead a professional group of dedicated and innovative Town employees. I also want to recognize the residents and businesses of Bar Harbor, the various committees and organizations, volunteers and other Town staff, who all helped Public Works' operations succeed throughout 2023.

Bethany Leavitt
Public Works Director

2023 PUBLIC WORKS STAFF

Highway Division

Bill Soukup, Superintendent
Travis Smith, Foreman
Jordan Pelletier, Mechanic
Patrick Kaemerer, Maintenance Worker A
Ben Beal, Equipment Operator
Stephen LaBelle, Mechanic
Jeffrey Lewis, Maintenance Worker B
Jason Lawrence, Maintenance Worker A
Matthew Hudson, Maintenance Worker C
Glenn Smith, Equipment Operator
Scott Hopkins, Maintenance Worker A
Suzanne Banis, Office Manager

Solid Waste Division

Sean Sweeney, Maintenance Worker A
Howard Carter, Maintenance Worker A

Wastewater Division

Tony Griffin, Wastewater Superintendent
Pat Kidder, Collection System Manager
Everett Sanborn, Operations Manager
Shawn Young Maintenance Technician I
John ("Jay") Desjardin, Maintenance Technician II
Austin Townley, Laboratory Technician
Jarod Donnell, Maintenance Worker I
Christopher Barlow, Maintenance Worker I

Water Division

Brady Anderson, Interim Water Superintendent
Bennett Liscomb, Water Treatment Manager
Jason Alley, Distribution System Manager
Josh Conary, Maintenance Technician I
Michael Faulkingham, Maintenance Technician I
Nancy Warner, Office Manager (Retired)
Christian Gilbert, Business Analyst and Office Manager



HEATHER WEBSTER
PRINCIPAL

MICHAEL FOURNIER
ASSISTANT PRINCIPAL

CONNERS-EMERSON SCHOOL

11 Eagle Lake Road
Bar Harbor, Maine 04609
(207) 288-3631

CONNERS EMERSON SCHOOL PRINCIPAL REPORT 2023-2024

	K	1	2	3	4	5	6	7	8	Total
3/22/24	343	49	30	32	54	38	35	44	38	353

As we reflect on the journey of the 23-24 academic year at Connors Emerson School, we are filled with immense gratitude for the unwavering support that you, our community, have extended to us. Your commitment to our school has been instrumental in fostering an environment where our students can thrive and excel.

We are incredibly fortunate to have a dedicated and passionate staff who go above and beyond every day to ensure that our students receive the best possible education. Their hard work and tireless efforts have not gone unnoticed, and we are proud to have such an exceptional team guiding our students through their learning journey.

At Connors Emerson, we pride ourselves on being an inclusive school community, where every individual is valued and respected. This inclusive ethos permeates every aspect of our school life, creating a welcoming and supportive environment for all through our commitment of *Every Student, Every Day*.

As we continue through the remainder of the school year, we remain committed to providing our students with the tools they need to succeed academically, socially, and emotionally. We are grateful for your continued support and partnership as we work together to nurture the next generation of leaders, thinkers, and innovators.

As a district we are working on the following goals:

Goal 1: *Improve Student Achievement and Engagement in School*

- Differentiated Instruction: Teachers are equipped to provide instruction tailored to the diverse needs of students using a tiered system of interventions which could involve a menu approach, flexible grouping, and scaffolding.
- Active Learning Strategies: Teachers are encouraged to use active learning techniques in the classroom to increase student engagement. This could include collaborative learning activities, hands-on projects, inquiry-based learning, and incorporating technology into lessons.
- Feedback and Assessment: Teachers understand the importance of timely and constructive feedback to students to support their learning and growth. Additionally, consider implementing formative assessment practices to continuously monitor student progress and adjust instruction accordingly.
- Social-Emotional Learning (SEL): We continue to prioritize SEL initiatives to support students' overall well-being and development. This currently involves integrating SEL into the school through a Responsive Classroom approach, morning meetings, middle school advisories with an emphasis on relationship-building and tiered supports..
- Family and Community Engagement: We are committed to strengthen partnerships with parents and the broader community to create a supportive learning environment. This include hosting family engagement events, providing resources for parents to support their child's learning at home, and collaborating with community organizations to offer additional opportunities for students.
- Student Voice and Choice: Empower students to take ownership of their learning by incorporating opportunities for voice and choice in the classroom. This can involve allowing students to select topics for projects, offering options for demonstrating understanding, and soliciting feedback on instructional practices.

By continuing to prioritize student learning and engagement, while also addressing their social-emotional needs and fostering a supportive school community, we create an environment where all students thrive.

Goal 2: *Improve Teaching and Learning*

To enhance teaching and learning, we've implemented a multifaceted approach focusing on professional development, collaboration, curriculum enhancement, and targeted intervention. Here's how we've been striving to achieve our goals:

- **Professional Development:** We prioritize ongoing professional development to empower educators with the latest instructional strategies and pedagogical approaches. Through targeted workshops, seminars, and training sessions, educators have the opportunity to enhance their teaching skills and stay abreast of best practices. Utilizing early release times for collaborative efforts allows educators to come together, share insights, and brainstorm effective teaching methods. This collaborative environment fosters creativity, innovation, and a sense of shared responsibility for student success.
- **Common Studies at District Level:** By aligning curriculum studies by grade or content at the district level, we ensure consistency and coherence across classrooms. This alignment facilitates a seamless transition for students and promotes a shared understanding of learning objectives among educators.
- **MTSS Interventionists and Coaches Collaboration:** Regular meetings with MTSS interventionists and coaches provide a platform for reflection and refinement of instructional practices. By leveraging their expertise, we tailor interventions to meet the diverse needs of students and continuously improve the quality of instruction.
- **Literacy Program Pilots:** Implementing literacy programs like Wit & Wisdom in grades 1-2 allows us to explore innovative approaches to literacy instruction. Through pilot programs, we assess the effectiveness of different curricular resources and adapt our strategies to maximize student engagement and achievement. Field testing new middle school ELA curriculums enables us to evaluate their suitability and efficacy in meeting the needs of our students. By soliciting feedback from educators and students, we gather valuable insights to inform curriculum decisions and enhancements.
- **Collaboration with All Learners Network for Math Instruction:** Partnering with the All Learners Network helps us strengthen our math instruction by incorporating evidence-based practices and differentiated instructional strategies through using the workshop model. This collaboration ensures that all students have equitable access to high-quality math instruction tailored to their individual learning needs.

- Feedback-driven Improvement of Tier 1 Instruction: We prioritize feedback from various stakeholders to continuously refine tier 1 instruction. By soliciting input from students, parents, and educators, we identify areas for improvement and implement targeted interventions to enhance the accessibility and alignment of instruction with learning standards.

Through these initiatives, we are dedicated to fostering a culture of continuous improvement and ensuring that every student receives high-quality instruction that is both rigorous and accessible, ultimately maximizing their learning outcomes and success.

Goal 3: *Strategic Allocation of Resources, Use of Personnel and Financial*

- Strategic Allocation of Resources: Prioritize resources based on needs and goals. This involves assessing current needs, forecasting future needs, and aligning resources accordingly.
- Use of Personnel and Financial Resources: Maximize the efficiency of personnel and financial resources.
- Fiscal Responsibility: Maintain financial sustainability by managing budgets effectively and avoiding unnecessary expenditures. This includes regular budget reviews, cost-benefit analyses for major expenses, and seeking out cost-saving opportunities.
- Flexibility with Staff Schedules and Responsibilities: Adapt staff schedules and roles to meet changing needs. This involves cross-training staff members, implementing flexible scheduling arrangements, and empowering staff to take on new responsibilities as needed.
- Teamwork: Foster a collaborative culture where staff members work together towards common goals. Encourage open communication, mutual support, and shared decision-making processes.
- Transferable Resources to New Building: Identify resources that can be transferred to a new building and plan for their relocation accordingly.
- Maintenance Over Replacement: Prioritize maintenance and repair efforts to prolong the lifespan of existing assets. This involves implementing preventive maintenance programs, conducting regular inspections, and addressing issues promptly to prevent costly replacements.
- Collaboration with Other District Schools: Pool resources and collaborate with other schools within the district to achieve cost savings and enhance opportunities for students and staff. This involves sharing transportation services, coordinating extracurricular activities, summer school, and pooling resources for professional development and mentorship programs.

By implementing these strategies, we promote responsible resource management, foster collaboration, and maximize the impact of available resources within our school.

Celebrating Success

Join us in celebrating the remarkable achievements and milestones of our school community! There's so much to cheer about:

- **Retirement Celebration:** After over 30 years of dedicated service as our esteemed guidance counselor, Carol Rosinski is retiring! Her commitment and support have touched countless lives, and we wish her all the best in this new chapter of her life.
- **Teacher of the Year:** Let's applaud Rebecca Edmondson for being named Hancock County Teacher of the Year for 2023! Her passion for teaching and tireless efforts in the music room inspire us all.
- **Student Achievements:** Our students have showcased their talents and dedication on various platforms, from participating in state and national competitions in Math Counts, Science Olympiad, Show Stoppers/Show Choir, to shining in the Jazz Band.
- **Sportsmanship and Success:** A big round of applause to our CES sports teams! Not only have they had successful seasons in soccer, cross-country, basketball, cheering, volleyball, baseball, softball, and track, but they've also demonstrated outstanding sportsmanship on and off the field.
- **Vibrant Extra-Curricular Activities:** Our school offers an exciting array of after-school clubs catering to diverse interests! From the adventurous escapades of Dungeons & Dragons, outdoor explorations with the Outdoor Club, to the creative endeavors of the School Newspaper, Art Clubs, and Computer Clubs, there's something for everyone to enjoy and engage with.

New School Building Project Update

We extend our heartfelt gratitude to the entire community for your unwavering support in approving the construction of a new school building. We understand that this decision was not taken lightly, and we deeply appreciate your trust in us.

The prospect of a new school building heralds a new era of possibilities for our students. The current structure no longer aligns with the innovative and dynamic learning experiences we aim to

provide in addition to the age of the buildings requiring constant and costly maintenance. With your support, we can create an environment that fosters creativity, collaboration, and academic excellence.

As we near the end phase of the design and development process, we are filled with excitement for what lies ahead. The bidding phase is approaching swiftly, and soon we will witness the groundbreaking of this transformative project. Construction is set to commence this summer, marking the beginning of a journey towards a brighter future for our students and our community as a whole.

Once again, thank you for your invaluable support. Together, we are shaping the future of education in Bar Harbor.

Respectfully submitted,

Dr. Heather Webster, Principal

Michael Fournier, Assistant Principal

Bar Harbor School Committee

Lilea Simis (Chair), Mike Keirs, Misha Mytar, Tyson Starling, and Marie Yarborough

AOS# 91 Administrative Staff

Mike Zboray, Superintendent of Schools

Rhonda Fortin, Director of Curriculum Pre-K-6

Julie Koblinsky, Director of Curriculum 7-12

Melissa Beckwith, Director of Special Services

Catherine Kozaryn, Director of Special Education

Selena Dunbar, Administrative Assistant

Nancy Thurlow, Business Manager

Conners Emerson Amazing Teaching Staff

Professional Staff	Curricular
Dr. Heather Webster	School Principal
Michael Fournier	Assistant Principal
Laura Savage	Special Education Coordinator
*Amanda Dyer	Kindergarten Teacher
*Deb Mountford	Kindergarten Teacher
Amber Newman	Kindergarten Teacher
Kimberly Craighead	Grade One Teacher
Kristen Murphy	Grade One Teacher
Jamie Young	Grade One Teacher
Marcia Guillemette	Grade Two Teacher
Isabel Keene	Grade Two Teacher
Sarah Pottle	Grade Two Teacher
Allyson Bender	Grade Three Teacher
Marianne Tripp	Grade Three Teacher
Meggie Curtis	Grade Four Teacher
Heather Dority	Grade Four Teacher
Meryl Sweeney	Grade Four Teacher
Renee Quebbeman	Grade Five ELA Teacher
Schuyler Mann	Grade Five Math Teacher
*Brian Cote	Grade Five Science Teacher
Beth Gilman	Grade Six ELA Teacher
Christina Nicholson	Grade Six Math Teacher
Michael Newman	Grade Six Social Studies Teacher

Gloria Cuthbertson	Grade Seven ELA Teacher
Gretchen Blank	Grade Seven Math Teacher
Amy Schmitt	Grade Eight ELA Teacher
Keely McConomy	Grade Eight Math Teacher
Lynn Hanna	Grade 7/8 Science Teacher
Jaylene Roths	Grades 7/8 Social Studies Teacher
Dana Noble	Special Education Teacher
Melanie Mace	Special Education Teacher
Hilary Chermak	Special Education Teacher
Kim Gray	Special Education Teacher
Melanie Fessler	SUN/Special Education Teacher
Suzanne Bishop	Speech/Language Teacher
Hannah Averill	ASL Interpreter
Jeanne Gilpatrick	Speech/Language Teacher
Kelly Beaulieu	K-4 Reading Interventionist
Caresse Hanson	K-4 Reading Interventionist
Nikki Dawes	K-4 Math Interventionist
Jennifer Sirois	5-8 ELA Interventionist
Rachel Umphrey	5-8 Math Interventionist
Mary Mackay	Gifted/Talented Teacher
Patty Galeaz	Behavior Interventionist
Melissa Bishop	School Nurse
Michelle Dupuis	School Nurse/Health Teacher
Edith Dubois	School Social Worker (80%)
Carol Rosinski	Guidance Counselor
Siobhan Ryan	Librarian

Sonia Berghoff	Music Teacher (80%)
Daniel Granholm	Music Teacher
Bryan Dionne	PE/Athletic Director
Helen Jolley	PE/Health Teacher
Allison Maurais	Art Teacher
Lynda Millar	French Teacher
Chrissy Parkinson	Technology Interventionist
Tim Bland	Student Resource Officer
<i>*Denotes Master Teacher/National Board Certified Teacher</i>	

Amazing Support Staff

Secretary: Taylor Hamor **Bookkeeper:** Susanna Ausema

Kitchen Staff: Tina Lunt (Head Cook), Toby Alley, Logan Fessler, and Cathy Lloyd

Maintenance Staff: Peter Alley (Head Custodian), Chase Brown, Kurt Lockhart, Tammy Carney, and Claudette Levy

Ed Techs: Jeremy Averill, Julie Bennoch, Sonia Berghoff, Angie Bouchard, Cheri Brown, Karen Collins, Allie Currie, Kim Frazier, Julie Fulton-Kelly, Adam Gariepy, Susan Geib, Emilie Ginn, Heather Kelly, David Lane, Sarah Lewis, Benjamin Lipski, Cathy Lloyd, Karlee Markovich, Will Mossing, Teghan Oswald, Ganesh Reddy, Liz Shaffer, Leslyn Shea, and Taylor Walls

This report focuses on the collective efforts of students, staff, and administrators working in the MDI Regional School System/AOS 91 during the 2022-23 school year. The tables below summarize our collective efforts, specific areas of focus, and, in some cases, revisions to plans for each Goal Area, as well as steps we plan to take in the 2023-24 school year. All goals and objectives align with the New England Association of Schools and Colleges (NEASC) and support the MDIRSS Service Promise:

AOS 91 works to interrupt educational inequities so that each child will thrive, one conversation at a time.

Goal 1: *Strengthen Learning Culture*

Learning culture promotes shared values and responsibility for achieving the school’s vision.	
Looking back, we...(September 2022 to August 2023)	Looking ahead, we plan to...(September 2023 to August 2024)
<ul style="list-style-type: none"> ● In support of our service promise: Continued to steward the development of Anti-Bias Anti-Racist lessons and practices, strengthen social emotional learning through advisory programs and restorative practices in middle and high schools 	<ul style="list-style-type: none"> ● March professional development day dedicated to Responsive Classroom training for all Pre-K-8 teachers and administrators. ● Assist schools in implementing supportive middle school structures, such as PBIS and Restorative Practices. ● Building staff support for wellness using Tools for Today and Tomorrow (resiliency support through mindfulness).

Goal 2: *Improve Student Learning*

Student learning practices maximize the impact of learning for each student.	
Looking back, we...(September 2022 to August 2023)	Looking ahead, we plan to...(September 2023 to August 2024)
<ul style="list-style-type: none"> ● Offered Professional Learning Opportunities to interested administrators, teachers & Ed Techs: <ul style="list-style-type: none"> ○ The Science of Reading ○ Early Childhood Education ○ Math Workshop Model ○ SEL Theater Integration ○ Mentor Training ○ What are We Grouping For? ○ Talking Circles ○ Better Conversations Book Study ○ Left to Their Own Devices. ● Utilized grant funding to purchase decodable texts for K-2 classrooms in support of Science of Reading ● Reviewed the newly updated MS and HS Maine DOE ELA and Math standards 	<ul style="list-style-type: none"> ● PK-8 schools are piloting and adopting Science of Reading curriculums. ● Strengthening Tier 1 Practices ● Examine new state standards in Social Studies and Science, making needed adjustments to our programs as required. ● Strengthen Multi-Language Learner (MLL) Services ● Strengthen Equity-based Grading Practices ● Offer Professional Learning Opportunities to interested administrators, teachers & Ed Techs: <ul style="list-style-type: none"> ○ Early Childhood Education ○ Mentor Training ○ Common Study and Learning Area Leader Training

Goal 3: Support Professional Practices

Professional practices ensure that practices and structures are in place to support and improve student learning.	
Looking back, we...(September 2022 to August 2023)	Looking ahead, we plan to...(September 2023 to August 2024)
<ul style="list-style-type: none"> ● Continued to refine the Performance Evaluation and Professional Growth System: <ul style="list-style-type: none"> ○ Formed Steering Committee ○ Aligned student and parent surveys with new Frameworks ○ Piloted updated documents 	<ul style="list-style-type: none"> ● Strengthen the role of school-based leadership teams. ● Continue job-embedded professional development through the use of instructional coaches. ● Continue training in the Science of Reading, Math Workshop Model, and the Thinking Classroom. ● Continue to train in the use of new technology tools: Schoology, AimswebPlus, and Special Programs.

Goal 4: Construct Learning Support

Learning support ensures that the school has appropriate systems to support student learning and well-being.	
Looking back, we...(September 2022 to August 2023)	Looking ahead, we plan to...(September 2023 to August 2024)
<ul style="list-style-type: none"> ● Started a PreK program in Mount Desert ● Tremont School received a PreK Expansion Grant from the MDOE ● Continued to support and improve the Summer School and ESY experience ● Continued to strengthen our academic, behavior and SEL Multi-Tiered System of Support (MTSS) by: <ul style="list-style-type: none"> ○ Contracted with a district coach from Great Schools Partnership ○ Purchased PowerSchool Special Programs to house MTSS and 504 plans ○ Determined K-10 Universal Screeners with cut scores ○ Purchased AimswebPlus for Benchmark screening and progress monitoring 	<ul style="list-style-type: none"> ● Tremont Consolidated School started a PreK program. ● PreK and two kindergarten teachers are using the GOLD Assessment Tool, an authentic observation-based assessment system used to document children’s learning over time, inform instruction, and facilitate communication with families. ● Expand summer school programming in grades 5-8. ● Continue to strengthen our academic, behavior, and SEL Multi-Tiered System of Support (MTSS) by: <ul style="list-style-type: none"> ○ Continuing to contract with Danielle Pierre from the Great Schools Partnership for district-wide and individual school-based coaching and support in MTSS, ○ Expand on MTSS screening and progress monitoring by purchasing the Shaywitz Dyslexia Screener, Rapid Automatized Naming assessment, and BASC-3 through AimswebPlus, ○ Ensure all schools have an MTSS Coordinator and/or Team, ○ Continue to train and support the MTSS Coordinators to strengthen our practices, ○ Develop MTSS workflows and protocols to ensure meetings are efficient and interventions are monitored and adapted, if needed, and ○ Strengthen the reach of building-based interventionists through teaming and scheduling.

Goal 5: Ensure Learning Resources

Learning resources ensure that the school has resources necessary to meet the learning needs of all students.	
Looking back, we...(September 2022 to August 2023)	Looking ahead, we plan to...(September 2023 to August 2024)
<ul style="list-style-type: none"> ● Continued to work with the school board to restructure and plan/implement a combined middle school and/or RSU structure. ● Continued to manage COVID relief grant funds. ● Hosted a Job Fair to recruit substitutes, ed techs, bus drivers and custodians 	<ul style="list-style-type: none"> ● Strengthening and streamlining the Human Resources role through the central office to reduce current legal fee expenses, support business office personnel and principals, and provide a consistent response to staff needs. ● Include contracted service in the district budget for technology infrastructure and cyber security. ● Move the Technology Lead position from grant-funded to district budget. ● Continue to work with the school board to restructure and plan/implement a combined middle school(s) and/or RSU structure. ● Continue to manage COVID relief grant funds. ● Host a Job Fair to recruit substitutes, ed techs, bus drivers and custodians.

Respectfully submitted by: Mike Zboray, Superintendent of Schools; Julie Keblinsky, Director of Teaching and Learning 7-12; Rhonda Fortin, Director of Teaching and Learning PreK - 6; Melissa Beckwith, Director of Special Services; Cathy Kozaryn, Assistant Director of Special Services; and Nancy Thurlow, Business Manager working in close collaboration with all of the principals of schools in the MDI Regional School System: Matt Haney (MDI High School), Heather Webster (Conners-Emerson School), Heather Dorr (Mount Desert Elementary), Crystal DaGraca (Trenton Elementary School), Gloria Delsandro (Cranberry Islands), Sarah Dunbar (Frenchboro Schools), Mimi Rainsford (Swan's Island), Christine Gray (Pemetec Elementary School), and Jandrea True (Tremont Consolidated School).

MOUNT DESERT ISLAND HIGH SCHOOL REPORT OF THE PRINCIPAL

It is with great pleasure that I present this annual report for the eleventh time. Leading this remarkable school over the past decade plus has been an immense privilege, and I am filled with renewed enthusiasm as we look ahead to the future. Despite encountering various challenges over the past twelve months, we have continued to evolve, adapt, and thrive alongside our students.

Academic Highlights at MDI High School

I take immense pride in the quality of education provided to our students, which consistently challenges them across multiple fronts. Our diverse range of courses caters to students of all interests and abilities, and our students consistently surpass state benchmarks in both standardized testing and practical application. We continue to refine our offerings and the multiple ways in which we support students to meet and exceed the standards we have identified. In the end, we strive to facilitate the growth of our students as lifelong learners who leave MDI High School ready to take on a multitude of careers and or post-secondary education.

Financial Overview

The approved budget for the 2023-2024 school year reflects a 7.10% increase, primarily attributed to adjustments in employee salaries and associated healthcare benefits. Our investment in human resources remains pivotal, underscoring our commitment to nurturing our greatest asset. The assessed contribution from towns has increased by 7.86%. The difference between the budget-to-budget increase and the assessment increase can be attributed to a slight decrease in revenue, primarily in carryover funds. I am confident that this responsibly crafted budget will effectively meet the educational needs of our community's students. Our school's success is greatly indebted to the amazing support of our taxpayers, which we deeply appreciate.

Facilities Update

The Board of Trustees has diligently explored options for enhancing and modernizing our library and science wings, integral components of our school since its opening in 1968. While our current spaces serve capably, the potential for 21st-century learning experiences beckons with these proposed upgrades. To this end, we have engaged Oak Point Associates of Portland who have developed concept designs and cost estimates. We are in the process of meeting with members of the community to share the plans, talk about the estimated costs associated with the project, and to answer questions. We hope to present a referendum question on the November ballots to seek approval for the project. Please feel free to contact me with any questions about the project and its profound educational impacts. I'd be happy to talk with anyone interested and can also arrange a tour of the facility as it currently stands.

Faculty and Staff Appreciation

It is imperative to acknowledge the invaluable contributions of our faculty and staff, whose unwavering dedication fosters a conducive learning environment for our students. Their collective efforts are instrumental in upholding high standards of education at our school. We are fortunate to have such a talented, diverse, and committed team.

In Conclusion

I extend my heartfelt gratitude to the students, staff, families, and broader community whose steadfast support serves as a beacon of inspiration for our continued growth and resilience. I am looking forward to a great turnout at the Annual High School Budget Meeting on April 3, 2024, at 6:00 p.m. in the Higgins-Demas Theatre on our campus.

Warm regards,

Matt Haney, MDIHS Principal

MOUNT DESERT ISLAND HIGH SCHOOL REPORT OF THE BOARD CHAIR

To our MDIHS community members,

The 2023-2024 school year at MDI High School feels like the swiftest to date. Time certainly speeds up as it rolls along, I'm learning, but the strong underpinnings of our educational community here at the high school have created an experience of smooth operation and exciting progress.

Being home to a group of high achievers in administration, faculty, and students alike, supports systems work in all directions for successful effect. This year's focus at the high school has been the implementation of our shifted approach to Multi-Tiered Systems of Support, or MTSS for short. This lens and framework is a more holistic approach to every student's needs on all levels: academic, behavioral, and social emotional. The tiers differentiate needs and patterns in real time and is a more proactive tool than the reactionary and responsive methods used in the past. It is with enthusiasm that we support our administrators and staff in this good work, and equal interest as we continue to gain knowledge of efficacy through their reporting.

As we hone support systems in the classrooms, we must also keep the actual classrooms evolving as well. To that end, our campus' academic wing, last updated in 2000, needs a boost in order to meet current curriculum needs and most importantly, safety concerns. One of the project's goals is to update our math and rooms to accommodate practical and current usage of laboratory areas, safe storage areas, and enough classrooms to support our offerings. Defunct vent hoods and obsolete lab equipment would be replaced with functional and compliant units, all with the goal to allow departments the ability to maneuver and shift as the educational landscape requires.

Perhaps the most important goal for the building project is to update the safety and flow of our central entrance. The new design offers a central, welcoming, and secure area to approach the school, which will be a great improvement upon our current setup. Guests will know where to enter, staff will feel more secure in welcoming guests, and the school itself will have a proper entryway and beautiful gathering place.

These learning supports, physical and otherwise, all come together to support our wonderful staff in doing what they do best, supporting and lifting up our kids. I am forever grateful for their dedication to their work, and therefore am grateful to lead support for *them*. I feel so lucky and proud to back this critical mission of education, and I hope you'll join me in expressing these thanks.

Sincerely,

Susan Allen



1081 Eagle Lake Rd Bar Harbor, ME 04609

207-288-4703 mdiae@mdirss.org

Website: mdi.maineadulted.org

March 1, 2024

Mt. Desert Island Adult and Community Education (MDIAE) provides high school completion options, college readiness, career and educational advising, workforce training, and enrichment opportunities for adults in our communities. Our programs enrich, enable, and energize our community so that its members can experience fuller and more productive lives. Director Anne Patterson and Academic Coordinator Michelle Brzezowski thank the school administrators, community partners and affiliates, and students for their support and participation throughout the 2022-2023 school year.

The major influencers on our student population were due to the interruptions in education during COVID and the Ukrainian War. We continue to see younger students coming to us for high school completion due to the challenges they experienced during the height of COVID. Nine younger students plus 2 adults completed the HiSET (think: GED) program by June 2023. The nine younger students plus one still working on a diploma were recognized and inducted into the National Honor Adult Ed Society for persevering with their education despite the impacts of COVID. It is very exciting that over ½ our graduates are pursuing college via the Free Community College Scholarship in Maine.

The Free College Scholarship makes community college affordable for recent high school graduates. If you earned a high school diploma or its equivalent in 2020 – 2025, you may qualify for the scholarship, which covers 100% of tuition and mandatory fees at any one of Maine's seven colleges across the state.

In the spring of 2023, a local resettlement agency hosted two Ukrainian families on Mt. Desert Island. The parents of these families took advantage of our English language learning program. All of the parents held jobs as they learned English and acclimated to a new country.

We offered 156 enrichment classes of which 124 ran with a total of 408 registrations. Many of these classes were online or hybrid (partially online/in-person) as well as in-person.

Summary of Services Rendered

High School Learners, registrations	20 learners
High School Graduates	11 graduates (a program record)
English Language Learning	6 Learners
College Transition Class	2 Learners
Behavioral Health Professional Certificate	21 applicants
Enrichment registrations	408 registrations
Staff	1 Director, 1 Academic Teacher, 26 Enrichment Instructors
Enrichment classes offered	156 classes
Enrichment classes ran	124 classes

We are very grateful for all the support we garner from the MDI High School, the administration, and the school board. Because of this wonderful community, we continue to ‘reset, redesign, and rebuild.’ We look forward to an even stronger year ahead.

Community members interested in teaching are always invited to contact our office for more information. We continue to strive to improve and expand our programming to meet your needs.

Respectfully submitted,

Anne Patterson, Director of Mt. Desert Island Adult Education

MDIHS TRUSTEES' ANNUAL REPORT

March 7, 2024

In accordance with the requirements of Section 2 and Section 8, Chapter 176, Private and Special Laws of 1963, I submit the following report of the Mount Desert Island Regional School District Board of Trustees covering the year ending December 31, 2023.

The following Trustees were serving at the end of 2023, with terms expiring as indicated:

MEMBER	TOWN	TERM EXPIRES
Robert Jordan, Chair	Bar Harbor	2024
Ann Ratcliff, Vice Chair	Southwest Harbor	2024
Joseph Cough	Bar Harbor	2026
Robert Webber	Bar Harbor	2025
Anthony Smith	Mt. Desert	2026
Carole Plenty	Mt. Desert	2025
Julianna Bennoch	Mt. Desert	2024
Chad Terry	Southwest Harbor	2026
Steve Hudson	Southwest Harbor	2025
Lawson Wulsin	Tremont	2026
Keri Hayes	Tremont	2024
Deidre Rigby	Tremont	2025

This past year we faced several challenges, primarily how to deal with our sewage system. The current system is the original from when the High School was first constructed in 1968. The system is in compliance and has a license to operate with the State of Maine through 2025. However, several issues including problems with the current lagoon system and PFAS mitigation have been brought to our attention this past year. The Trustees worked with High School Administrators and staff as well as District Administrators to understand and address all of the issues involved. We will continue to seek practical solutions that meet the needs of our school community as well as our greater MDI community. There is good news for the sewer system; the Trustees and Administrators have been working on a long-term solution that would allow us to retire our current system and connect with the sewage treatment plant in Somesville. The details, costs, and funding are currently being worked out.

While we are keenly aware of the other school projects and the tax burden our Island communities are facing, we are also aware of the needs of this facility and the High School community. For the past 2 years the Trustees have joined school Administrators, Staff and students in planning a much-needed renovation in key educational areas of the High School. In particular the library, the science and math wing, and some administrative offices have been redesigned to improve the educational platform and functionality in these spaces. This year we

will be presenting our plans to Town officials of each community with the help of Oak Point Associates, the firm that has developed the plans for the renovation.

I have been proud to serve as both Chair and as one of Bar Harbor's Representatives on the Board of Trustees over the past year. All our members work hard to maintain and to ensure the best facilities for our high school students, teaching staff, support staff and administrators. Providing a facility that the island community can be proud of now and in the future is always part of our deliberations and decision making.

The Trustees would like to thank Principal Matt Haney, all the staff, teachers, and students for their hard work and commitment to keeping everyone safe and protected while continuing to provide the highest level of education.

I would like to personally thank all our Trustees for their work and commitment that help support the education and development of all the young people here on Mt. Desert Island. It is a reflection of the community how much we value this place.

The Trustees also appreciate all our island communities that provide us with the necessary financial support to continue providing a quality-learning environment at Mt. Desert Island High School.

Finally, I would like to recognize and thank Superintendent Mike Zboray and his staff for their service and work with this Board as well as the Regional School District as a whole.

Respectfully Submitted,

Robert Jordan, Chairman
MDIHS Trustees



Founded in 1899 and incorporated in 1969, the Bar Harbor Chamber of Commerce is a non-profit organization comprised of nearly 400 independent businesses. The Chamber's mission is to promote the business interests and general welfare of the town of Bar Harbor, Hancock County, and surrounding areas and to provide an excellent experience to all who live in or choose to visit our region.

The Bar Harbor Chamber of Commerce, as a membership organization, reflects the needs and concerns of its membership. One of the Chamber's primary goals is to foster a sustainable tourism industry and promote the Bar Harbor area as one of the world's premier travel destinations. The Chamber also works to support a robust year-round community by finding solutions to the major issues facing our area like housing and workforce shortages.

We work as a partner with the town of Bar Harbor to provide exceptional service to residents and visitors alike. At our visitor service locations, we welcome guests and offer guidance on navigating our town and Acadia National Park more efficiently. Our visitor services staff answer questions related to parking, lodging, dining, the weather, activities, and so much more. In 2023, we had many interactions over social media and via email in addition to over 9,700 phone calls from visitors and services to over 102,000 visitors at the Chamber's visitor center located at 2 Cottage Street and our information kiosk at Harborview Park.

The Bar Harbor Chamber of Commerce is also happy to organize and produce many of our community's most beloved and iconic events, including the Fourth of July Parade and Fireworks, Early Bird Pajama Sale and Bed Races, Village Holidays Celebration & Sale, Seaside Cinema outdoor movie nights, Art in the Park, and the Memorial Day Remembrance Ceremony. In 2024, with the support of the Town of Bar Harbor, we will continue providing events that foster a sense of community and help create memories that will last a lifetime.

The Bar Harbor Chamber of Commerce is working to ensure that Bar Harbor remains a vibrant year-round community by supporting the businesses and residents who choose to be here. Over the years, the Chamber has strived to extend the tourism season so that hospitality businesses could open earlier and stay open later in the year. Now, our community is fortunate to have restaurants, shops, hotels, and coffee shops, as well as a hospital, trade services, nonprofits, and so many other businesses available to us at all times of the year.

The Bar Harbor Chamber of Commerce is proud to partner with the town of Bar Harbor and we look forward to continuing our service to the community and our members.

Sincerely,

A handwritten signature in blue ink that reads "Everal Eaton" with a stylized flourish at the end.

Everal Eaton
Executive Director
Bar Harbor Chamber of Commerce

P.O. Box 158, Bar Harbor, Maine 04609-0158 • 207.801.2566
E-Mail: everal@visitbarharbor.com • Website: visitbarharbor.com

Mount Desert Island and Ellsworth Housing Authorities

Physical: 80 Mount Desert Street
Mailing: PO Box 28
Bar Harbor, Maine 04609
Phone 207-288-4770 | Fax: 207-288-4559 | TTY 207-288-4770
Executive Director Weston Brehm

Annual Report

The Bar Harbor Housing Authority

The mission of The Bar Harbor Housing Authority (BHHA) is to provide decent, safe and sanitary housing for income eligible seniors, the disabled, and families within its jurisdiction. The BHHA's four locations, all in town Bar Harbor, are owned and administered by the MDI & Ellsworth Housing Authorities. Currently, 170 individuals and families are being served. Each location has a separate waiting list for those interested in becoming tenants; applications are always being accepted.

The MDI and Ellsworth Housing Authorities' Public Housing and Housing Choice Voucher Programs assisted over seven hundred individuals and families throughout Hancock County in 2023 in the amount of \$4,137,847.00. Payment in lieu of taxes (PILOT) to the Town of Bar Harbor for 2023 was \$23,519.00.

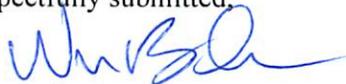
The Acadia Community Association, the Housing Authorities' 501(c)3, provided programming for seniors across Mount Desert Island, from nutritious Meals on Wheels options, to a myriad of wellness classes for seniors.

The Bar Harbor Housing Authority Commissioners Board, Executive Director, and Staff are sincerely grateful for the continued support from all at the Bar Harbor Town Office, the Town Council, the Police Department, the Fire Department, and the Public Works Department of the Town of Bar Harbor. All help the BHHA achieve its mission.

The Bar Harbor Housing Authority Board of Commissioners meets the first Wednesday of each month. The meetings are handicapped accessible and open to public attendance. Please call Theresa at 207-288-4770, extension 127, to confirm the date and time of Board meetings, as dates & times are subject to change.

The Housing Authorities' office is located at 80 Mount Desert Street, in Bar Harbor, ME. The office is open from 8 a.m. to 4 p.m., Monday through Friday. To contact the Housing Authorities, please call 207-288-4770 or e-mail Executive Director Weston Brehm at: weston.brehm@emdiha.org.

Respectfully submitted,



Weston Brehm
Executive Director, MDI & Ellsworth Housing Authorities





Janet T. Mills
GOVERNOR

STATE OF MAINE
OFFICE OF THE GOVERNOR
1 STATE HOUSE STATION
AUGUSTA, MAINE
04333-0001

Spring 2024

Dear Maine Resident:

Since my first day in office, I have been guided by the belief that to strengthen our state, we have to invest in our greatest asset: the people of Maine. With the support of the Legislature, my Administration has invested in what people need to succeed — job training, child care, health care, education, broadband, and housing.

Those investments are working — small businesses are expanding their operations; people are moving here to work and raise their families; and graduates are staying in Maine to pursue rewarding, life-long careers — all encouraging signs that are reflected in the strength of our economy. In fact, Maine has the best rate of economic growth in New England and one of the best rates in the nation.

At the same time, we have our challenges. In late October, a gunman took the lives of 18 innocent citizens and injured many more in an act of senseless and unconscionable violence. Then, in December and January, heavy rains and powerful winds brought massive flooding that destroyed homes and businesses, roads, and bridges, and changed the very landscape of our coast.

I have proposed legislation to address both issues — first, to rebuild from these storms and prepare for those to come; and, second, to expand mental health services and keep weapons out of the hands of dangerous people to better protect public safety.

We have made good progress over the past five years to ensure that every person can find a good-paying job in Maine; have affordable health insurance; have the peace of mind that their children are safe at home and at school; breathe clean air and drink clean water and enjoy the rolling hills, lush forests, mighty rivers, and bold coast of Maine.

There are still plenty of challenges, particularly when it comes to the affordability of housing, child care, energy, and other things, but thanks to the resilience and the resolve of Maine people, I am more confident than ever before in the future of our state.

It is my honor to serve as your governor.

Sincerely,

Janet T. Mills
Governor



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58

TTY USERS CALL 711
www.maine.gov

SUSAN M. COLLINS
MAINE

413 DIRKSEN SENATE OFFICE BUILDING
WASHINGTON, DC 20510-1904
(202) 224-2523
(202) 224-2693 (FAX)

United States Senate
WASHINGTON, DC 20510-1904

COMMITTEES:
APPROPRIATIONS
Vice Chair
HEALTH, EDUCATION,
LABOR, AND PENSIONS
SELECT COMMITTEE
ON INTELLIGENCE

Dear Friends:

It is an honor to serve the people of Maine in the U.S. Senate, and I welcome this opportunity to share an update on issues important to Maine and America.

One of my priorities for 2023 has been to improve the appropriations process in Congress – the way it decides how to spend taxpayer money. I took over as the Vice Chair of the Senate Appropriations Committee last year. Along with Chair Patty Murray, we decided the best change we could make was not to do something new. Instead, it was to do something old – that is, go back to the regular and transparent committee process that we used to have.

Part of restoring this process included holding 50 public Committee hearings, which allowed for input from senators on both sides of the aisle. As a result, for the first time in five years, the Senate Appropriations Committee passed all twelve of its funding bills on time. This was done with strong bipartisan support. In fact, seven of them passed unanimously.

Now, we need to work with the House of Representatives to pass these twelve bills and turn them into laws.

These bills contain funding for a wide range of Maine priorities, including support for the workforce at Bath Iron Works and Portsmouth Naval Shipyard, our lobster industry, infrastructure improvements, affordable housing, biomedical research, veterans, and heating assistance programs like LIHEAP. These bills also contain nearly \$590 million in Congressionally Directed Spending for 231 projects throughout the State of Maine. These projects would help promote job creation, expand access to health care, and improve public safety, infrastructure, and important resources in communities across all 16 counties of our state. I will continue to work to get these bills signed into law in the new year.

On October 25, the horrific mass shooting in Lewiston claimed the lives of 18 Mainers and injured 13 others. In response, I led Maine's Congressional Delegation in requesting an independent investigation by the U.S. Army Inspector General into the events leading up to the shooting. On December 15, the Under Secretary of the Army wrote to inform me that such an investigation will take place, and the Army Inspector General has instructed her team to immediately begin preparing to conduct this investigation. While nothing can undo the events of October 25, I will continue to work to understand what happened and what could have been done differently, and to find answers for the victims, survivors, and their families.

No one works harder than the people of Maine, and this year I honored that work ethic when I cast my 8,855th consecutive roll call vote.

As we look ahead to 2024, I remain committed to addressing the concerns of Maine families and communities. If you need assistance or wish to share your thoughts, please do not hesitate to reach out to one of my six state offices.

Sincerely,



Susan M. Collins
United States Senator

ANGUS S. KING, JR.
MAINE

133 HART SENATE OFFICE BUILDING
(202) 224-5344
Website: <https://www.King.Senate.gov>

United States Senate

WASHINGTON, DC 20510

COMMITTEES:
ARMED SERVICES
CHAIRMAN, STRATEGIC FORCES
SUBCOMMITTEE
ENERGY AND
NATURAL RESOURCES
CHAIRMAN, NATIONAL PARKS
SUBCOMMITTEE
INTELLIGENCE
VETERANS' AFFAIRS

January 1, 2024

Dear Friends,

Thank you for allowing me to add my congratulations and gratitude for the positive differences each town and city in Maine makes for its people and ultimately for Maine as a whole. When I travel around the state and visit the various regions in Maine, I see firsthand the differences you all make, the focus you put on excellence, and the helping hands you extend to neighbors. I have learned valuable lessons watching your collaborations with each other. They got the State motto right – *Dirigo* – because you all certainly do lead the way and exemplify the best of Maine.

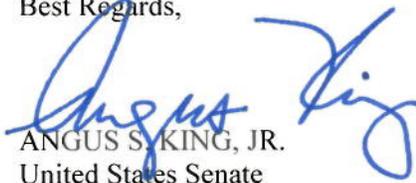
First, it was a true honor to be appointed to the Senate Veterans Affairs Committee this year to help address the challenges facing Maine veterans. We owe our way of life to these brave men and women and share a collective responsibility as a grateful nation to give back to our veterans. That means delivering veterans the benefits they have earned, addressing the veterans' suicide crisis, improving transition-to-civilian-status programs, and ensuring every veteran can access essential services, like affordable housing and behavioral healthcare.

Next, one of the most significant infrastructure projects in Maine history is underway: affordable and universal broadband availability throughout the state. Supported through funding in the bipartisan infrastructure bill, we are now within striking distance of broadband service even in our most rural communities. Additionally, infrastructure improvements in our roads and bridges, water and septic upgrades for our towns and support for our workforce and employers are also in the pipeline. Serious steps are being taken to address the toll from substance abuse and to provide our older neighbors with resources to help them continue to stand strong throughout their golden years. It is my goal here to make sure everyone has access to stable employment opportunities and quality healthcare which is of critical importance to keep our families healthy and happy.

I am thankful for each town in Maine for their commitment to their communities, to their citizens, and to this country. I will do my part to listen to your concerns and work to find useful solutions to the issues you face. My offices throughout Maine remain available to you if you face hurdles with the federal government, whether it be veteran issues, social security problems, student loans, immigration, tax assistance and more. I hope you will reach out of my offices in Presque Isle, Bangor, Augusta, Portland, or Biddeford and allow me the chance to be part of your solutions. Together, I know we can continue to build a stronger, brighter future for our great state.

Maine is known for our grit and resiliency and we are making great strides — something others across the country have noticed. Thank you for being one of the reasons Maine is so special; it is not only a pleasure to serve you — it is a pleasure to know you. Mary and I wish you a happy and safe 2024.

Best Regards,



ANGUS S. KING, JR.
United States Senate

AUGUSTA
40 Western Avenue, Suite 412
Augusta, ME 04330
(207) 622-8292

BANGOR
202 Harlow Street, Suite 20350
Bangor, ME 04401
(207) 945-8000

BIDDEFORD
227 Main Street
Biddeford, ME 04005
(207) 352-5216

PORTLAND
1 Pleasant Street, Unit 4W
Portland, ME 04101
(207) 245-1565

PRESQUE ISLE
167 Academy Street, Suite A
Presque Isle, ME 04769
(207) 764-5124



Jared Golden
Congress of the United States
2nd District of Maine

Dear Friends,

I hope this letter finds you safe and well. It's an honor to continue serving as your representative in Congress, and I take the responsibility very seriously. I appreciate the opportunity to update you on what I've been working on behalf of the people of the Second Congressional District.

Maine's heritage industries are the backbone of our state's economy. That is why one of the first bills I introduced in this Congress was the *Northeast Fisheries Heritage Protection Act*, which would prohibit commercial offshore wind energy development in Lobster Management Area 1 (LMA 1) in the Gulf of Maine. LMA 1 was identified by the Bureau of Ocean Energy Management (BOEM) as a potential commercial offshore wind site. LMA 1 is a critical and highly productive fishing ground for a variety of sea life, including lobster. Prohibiting offshore wind development in LMA 1 would help to avoid conflict with the New England commercial and recreational fishing industries. Additionally, the bill would initiate a federal study on the environmental review processes of any relevant Federal agencies for offshore wind projects in the Gulf of Maine.

I also continue to advocate on behalf of our veterans and those providing care to our former service members. The current pay for VA employees in the Kennebec and Penobscot counties does not reflect the critical services they are providing. As the oldest state in the nation, with the fifth highest veteran population, Mainers rely on the services offered at the Department of Veterans Affairs (VA) facilities. That's why recently, Senator Collins, Senator King, Representative Pingree, and I called on the Biden Administration to increase locality pay for VA employees in Kennebec and Penobscot counties. The level of care received is impacted by job vacancies, and the high turnover rate among its healthcare workforce is often the result of pay and compensation issues, which is further exacerbated by the increased cost of living.

Lastly, I'm excited that Mainers are continuing to reap the benefits of the *Bipartisan Infrastructure Law* (BIL). Recently, millions of dollars in grants have been awarded across the state, including \$35 million through the U.S. Department of Transportation's Culvert Aquatic Organism Passage (AOP) program to conserve spawning and migratory habitats for native fish species in Maine, \$460,000 through the Airport Infrastructure Grant (AIG) program for the Princeton Municipal Airport, Stephen A. Bean Municipal Airport, and Dexter Regional Airport, and nearly \$8 million through the Buses and Bus Facilities Program for Bangor's bus system. These investments are critical to ensuring Maine's infrastructure and will help to ensure Mainers and businesses across Maine are connected.

Regardless of the year, one of my top priorities is ensuring I'm accessible to you. My staff and I can help answer questions about and navigate federal programs; find resources in Maine; and resolve issues with Medicare, Social Security, the VA, and other federal agencies and programs. We are here to help:

- **Caribou Office:** 7 Hatch Drive, Suite 230, Caribou, ME 04736. Phone: (207) 492-6009
- **Lewiston Office:** 179 Lisbon Street, Lewiston, ME 04240. Phone: (207) 241-6767
- **Bangor Office:** 6 State Street, Suite 101, Bangor, ME 04401. Phone: (207) 249-7400

I look forward to building on momentum from recent legislative wins for Mainers and continuing to work on your behalf in 2024. Do not hesitate to reach out and voice an opinion on legislation, let us know about local events, or seek assistance navigating federal agencies or programs. It's an honor to represent you in Congress, and I wish you a healthy and prosperous year to come.

Respectfully,

Jared F. Golden
Member of Congress



THE MAINE SENATE
131st Legislature

January 2024

Dear friends and residents of Bar Harbor,

Lawmakers are back in session in Augusta, and I feel fortunate to represent my hometown and the coastal communities of Senate District 7. I continue to serve as the Senate Chair of the Taxation Committee and am returning to the Energy, Utilities and Technology Committee. I look forward to the work ahead, building on what we accomplished in 2023.

Last year, my colleagues and I worked hard to pass necessary and impactful legislation. We improved the Property Tax Fairness Credit so that our neighbors who are over 65 can afford to stay in their homes, whether they own or rent. We expanded income eligibility for the credit and increased the maximum benefit from \$1,500 to \$2,000. It is important to file income taxes annually to ensure that you receive credit or future relief payments for which you are eligible. We also improved the Property Tax Deferral Program to ensure none of our older neighbors slip through the cracks and lose their homes.

We've kept our promises to students and property taxpayers by funding statewide K-12 public education costs at 55%, fully funding the municipal revenue sharing program to help towns with the cost of local roads and public safety, and continuing to fund universal free school meals.

We increased funding for roads, bridges, and other transportation infrastructure without taking on debt, an effort that started with unanimous bipartisan agreement in the Taxation Committee. We also dedicated funding to replace culverts and build up roads at risk of flooding, which will help municipalities access significant federal funding and prepare for more intense storms.

Lawmakers invested \$31 million in EMS departments across the state to ensure access to these vital services. We also made a critical investment in the safety and preparedness of Maine's firefighters by providing \$1.5 million to improve our fire service training facilities.

I will continue to collaborate with my colleagues, regardless of party affiliation, to make sure we are doing the best work we can for all Mainers. Please contact me if I can be of any assistance with state government or if you have questions about the legislative process. I also share information via Facebook and Instagram (@senator.grohoski) and send out periodic email newsletters; please let me know if you would like to be added to my mailing list. You can email me at Nicole.Grohoski@legislature.maine.gov or call the Senate office at (207) 287-1515.

I remain at your service and am honored to be your advocate in Augusta.

Sincerely,

A handwritten signature in cursive script that reads "Nicole C. Grohoski".

Nicole Grohoski
State Senator, District 7

**Bar Harbor Warrant Committee
Subcommittees
2024-2025 Term**

General Government Subcommittee

Carol Chappell
Seth Libby
Ezra Sassaman
Kathy St. Germain

Education Subcommittee

Bob Chaplin
Shaun Farrar
Louise Lopez
Jeff Young

Public Safety Subcommittee

Julie Berberian
Kevin DesVeaux
Eben Salvatore
Chris Smith
Shaun Farrar

Public Infrastructure Subcommittee

Meagan Kelly
Allison Sasner
Bailey Stillman

INDEPENDENT AUDITOR'S REPORT

Members of the Town Council
Town of Bar Harbor
Bar Harbor, Maine 04609

Report on the Audit of the Financial Statements

Opinions

We have audited the accompanying financial statements of the governmental activities, business-type activities, each major fund and the aggregate remaining fund information of the Town of Bar Harbor, Maine (the Town) as of and for the fiscal year ended June 30, 2023, including the related notes to the financial statements, which collectively comprise the Town's basic financial statements as listed in the table of contents.

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, business-type activities, each major fund and the aggregate remaining fund information of Town of Bar Harbor, Maine as of June 30, 2023, and the respective changes in financial position thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Basis for Opinions

We conducted our audit in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the Town and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the Town's ability to continue as a going concern for twelve months beyond the financial statements date, including any currently known information that may raise substantial doubt shortly thereafter.

Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinions. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with generally accepted auditing standards and *Government Auditing Standards* will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with generally accepted auditing standards and *Government Auditing Standards*, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Town's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the Town's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

Required Supplementary Information

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis and required supplementary information on pages 4 through 10 and 60 through 71, respectively, be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

Supplementary Information

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the Town of Bar Harbor, Maine's basic financial statements. The accompanying supplementary information and schedule of expenditures of federal awards, as required by Title 2 U.S. *Code of Federal Regulations* Part 200, *Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards*, are presented for purposes of additional analysis and are not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements.

The information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the accompanying supplementary information and the schedule of expenditures of federal awards are fairly stated, in all material respects, in relation to the basic financial statements as a whole.

Other Reporting Required by Government Auditing Standards

In accordance with *Government Auditing Standards*, we have also issued our report dated March 25, 2024 on our consideration of the Town of Bar Harbor, Maine's internal control over financial reporting and our tests of its compliance with certain provisions of laws, regulations, contracts and grant agreements and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the Town of Bar Harbor, Maine's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the Town of Bar Harbor, Maine's internal control over financial reporting and compliance.

Respectfully Submitted,

James W. Wadman, CPA

James W. Wadman, CPA
Ellsworth, Maine
March 25, 2024

TOWN OF BAR HARBOR
STATEMENT OF NET POSITION
JUNE 30, 2023

Exhibit A

	<i>Governmental Activities</i>	<i>Business-Type Activities</i>	<i>Total</i>
Assets:			
Cash and Equivalents	12,950,580	4,792,477	17,743,057
Investments	1,736,526		1,736,526
Receivables:			
Taxes and Liens	353,796	21,858	375,654
User Fees, net		713,288	713,288
Accounts	389,691	12,612	402,303
Ambulance	119,935		119,935
Accrued Interest	7,797		7,797
Bond Receivable	1,460,904	1,346,047	2,806,951
Prepaid Expense	-	15,702	15,702
Inventory	26,391	318,981	345,372
Due from Other Governments	196,292		196,292
Leases Receivable-Current	195,862		195,862
Leases Receivable-Non-Current	65,090		65,090
Right to use leased assets, net of accumulated amortization-School	70,248		70,248
Capital Assets:			
Land	6,213,075	164,126	6,377,201
Construction Work in Progress	1,911,279	3,867	1,915,146
Other Capital Assets, Net of Depreciation	28,774,805	20,063,675	48,838,480
Total Assets:	54,472,271	27,452,633	81,924,904
Deferred Outflows of Resources:			
Related to Other Post Employment Benefits	191,823		191,823
Related to Pensions	1,211,961	164,436	1,376,397
Total Deferred Outflows of Resources	1,403,784	164,436	1,568,220
Total Assets and Deferred Outflows of Resources	55,876,055	27,617,069	83,493,124
Liabilities, Deferred Inflows of Resources and Net Position:			
Liabilities:			
Accounts Payable	728,320	100,445	828,765
Retainage Payable	-	2,155	2,155
Payroll Taxes Deductible	63,964		63,964
Due to Students	6,949		6,949
Accrued Salaries Payable	752,654	20,778	773,432
Accrued Interest Payable		21,899	21,899
Internal Balances	(1,802,153)	1,802,153	-
Deposits Payable	31,134		31,134
Long-term Liabilities:			
Accrued Compensated Absences	429,957	41,564	471,521
Lease liability GASB 87 one year	28,117		28,117
Lease liability GASB 87 due in more than one year	29,031		29,031
Net Pension Liability	1,302,972	227,286	1,530,258
Net Post Employment Benefits Obligation	1,227,997		1,227,997
Debt Due Within One Year	2,468,413	1,770,453	4,238,866
Debt Due in More Than One Year	9,434,337	3,801,053	13,235,390
Total Liabilities	14,701,692	7,787,786	22,489,478
Deferred Inflows of Resources:			
Property Taxes Collected in Advance	34,707		34,707
Deferred Inflows of Resources from Leases	176,099	-	176,099
Related to Other Post Employment Benefits	381,321		381,321
Related to Pensions	593,745	97,217	690,962
Total Deferred Inflows of Resources	1,185,872	97,217	1,283,089
Net Position:			
Net Investment in Capital Assets	24,996,409	14,660,162	39,656,571
Restricted	3,306,365		3,306,365
Unrestricted	11,685,717	5,071,904	16,757,621
Total Net Position	39,988,491	19,732,066	59,720,557
Total Liabilities, Deferred Inflows of Resources and Net Position	55,876,055	27,617,069	83,493,124

The notes to financial statements are an integral part of this statement.

TOWN OF BAR HARBOR
GENERAL RESERVES, COMMITTED FUNDS & SCHOOL DEPARTMENT
COMBINING STATEMENT OF REVENUES, EXPENDITURES AND CHANGES IN FUND BALANCES
FOR THE YEAR ENDED JUNE 30, 2023

Exhibit A-5

	<i>Dog Control Reserve</i>	<i>Shellfish Conservation Reserve</i>	<i>School Department (A-6)</i>	<i>Cruise Ship Fund (A-7)</i>	<i>Parking Meter Fund (A-8)</i>	<i>Total</i>
Revenues						
Intergovernmental Revenues			2,553,335			2,553,335
Local Sources			82,334		43,697	126,031
Dog Fees	1,988					1,988
Shellfish Fees/Fines		2,610				2,610
Port Fees				657,428		657,428
Cruise Ship Passenger Fees				620,632		620,632
Parking Fees net of charges					1,986,042	1,986,042
Permit Fees net of charges					33,141	33,141
Total Revenues	1,988	2,610	2,635,669	1,278,060	2,062,880	5,981,207
Expenditures						
Public Safety	455					455
Education			9,172,673			9,172,673
Cruise Ship Operating				205,776		205,776
Parking Meter Operating					557,085	557,085
Total Expenditures	455	-	9,172,673	205,776	557,085	9,935,989
Excess of Revenues Over (Under) Expenditures	1,533	2,610	(6,537,004)	1,072,284	1,505,795	(3,954,782)
Other Financing Sources (Uses)						
Transfers In			6,877,772			6,877,772
Transfers Out	(1,533)	(2,610)	(95,000)	(474,951)	(1,946,250)	(2,520,344)
Total Other Financing Sources (Uses)	(1,533)	(2,610)	6,782,772	(474,951)	(1,946,250)	4,357,428
Excess of Revenues and Other Financing Sources (Uses) Over Expenditures	-	-	245,768	597,333	(440,455)	402,646
Fund Balance - July 1	-	-	1,422,215	108,861	1,475,967	3,007,043
Fund Balance - June 30	-	-	1,667,983	706,194	1,035,512	3,409,689

TOWN OF BAR HARBOR
SCHEDULE OF REVENUES AND EXPENDITURES
BUDGET AND ACTUAL - PARKING METER FUND
FOR THE YEAR ENDED JUNE 30, 2023

Exhibit A-8

	<i>Original Budget</i>	<i>Final Budget</i>	<i>Actual</i>	<i>Variance Favorable (Unfavorable)</i>
Revenues				
Investment Interest	2,500	2,500	43,697	41,197
Parking Fees net of charges	1,819,000	1,819,000	1,986,042	167,042
Permit Fees net of charges	18,000	18,000	33,141	15,141
	<u>1,839,500</u>	<u>1,839,500</u>	<u>2,062,880</u>	<u>223,380</u>
Total Revenues				
Expenditures				
Wages and Benefits	295,390	295,390	277,838	17,552
Contracted Services	38,777	38,777	18,164	20,613
Supplies	18,500	18,500	20,099	(1,599)
Utilities	1,100	1,100	2,772	(1,672)
Repairs	3,500	3,500	2,153	1,347
Equipment	6,500	6,500	7,456	(956)
Advertising	1,500	1,500	-	1,500
Professional Dues and Licenses	600	600	-	600
Insurance	1,200	1,200	2,165	(965)
Postage & Shipping	200	200	-	200
Contingency	10,000	10,000	10,000	-
Island Explorer	216,438	216,438	216,438	-
	<u>593,705</u>	<u>593,705</u>	<u>557,085</u>	<u>36,420</u>
Total Expenditures				
Excess of Revenues Over (Under)				
Expenditures	<u>1,245,795</u>	<u>1,245,795</u>	<u>1,505,795</u>	<u>259,800</u>
Other Financing Sources (Uses)				
Transfers In				-
Transfers Out	<u>(1,946,250)</u>	<u>(1,946,250)</u>	<u>(1,946,250)</u>	-
				-
Total Other Financing Sources (Uses)				
	<u>(1,946,250)</u>	<u>(1,946,250)</u>	<u>(1,946,250)</u>	-
Excess of Revenues and Other Financing Sources (Uses) Over Expenditures				
	<u>(700,455)</u>	<u>(700,455)</u>	<u>(440,455)</u>	<u>259,800</u>
Fund Balance - July 1			<u>1,475,967</u>	
Fund Balance - June 30			<u><u>1,035,512</u></u>	

TOWN OF BAR HARBOR
STATEMENT OF REVENUES, EXPENDITURES AND CHANGES
IN FUND BALANCES - GOVERNMENTAL FUNDS
FOR THE YEAR ENDED JUNE 30, 2023

Exhibit D
Page 1 of 2

	<i>General Fund</i>	<i>CIP Fund</i>	<i>Other Governmental Funds</i>	<i>Total Governmental Funds</i>
Revenues				
Taxes	21,247,386			21,247,386
Intergovernmental Revenues	3,335,838	57,236	142,043	3,535,117
Departmental Revenues	5,098,782	-		5,098,782
Other Local Sources	797,512	410,091	1,272	1,208,875
Total Revenues	30,479,518	467,327	143,315	31,090,160
Expenditures				
Current:				
General Government	4,381,589		-	4,381,589
Public Safety	4,110,819			4,110,819
Health and Welfare	237,306			237,306
Parks and Recreation	477,893			477,893
Island Explorer Shuttle Bus	5,000			5,000
Roads and Sanitation	2,662,439		-	2,662,439
Education	9,172,673			9,172,673
Assessments	4,597,657			4,597,657
Cruise Ship	205,776			205,776
Parking Meters	557,085			557,085
Capital Outlay		5,272,903	-	5,272,903
Federal/State Funds			135,730	135,730
Total Expenditures	26,408,237	5,272,903	135,730	31,816,870
Excess of Revenues Over (Under) Expenditures	4,071,281	(4,805,576)	7,585	(726,710)
Other Financing Sources (Uses)				
Bond Proceeds		1,460,904		1,460,904
Transfers In	727,172	3,771,850	-	4,499,022
Transfers Out	(4,498,964)	-	(58)	(4,499,022)
Total Other Financing Sources (Uses)	(3,771,792)	5,232,754	(58)	1,460,904
Excess of Revenues and Other Financing Sources Over (Under) Expenditures	299,489	427,178	7,527	734,194
Fund Balance - July 1	8,748,001	6,747,868	586,492	16,082,361
Fund Balance - June 30	9,047,490	7,175,046	594,019	16,816,555

(Continued)

The notes to financial statements are an integral part of this statement.

TOWN OF BAR HARBOR
RECONCILIATION OF THE STATEMENT OF REVENUES, EXPENDITURES,
AND CHANGES IN FUND BALANCES - GOVERNMENTAL FUNDS
TO THE STATEMENT OF ACTIVITIES
FOR THE YEAR ENDED JUNE 30, 2023

Exhibit D
Page 2 of 2

Net change in fund balances - total governmental funds	734,194
Amounts reported for governmental activities in the Statement of Activities are different because:	
Governmental funds report capital outlays as expenditures while governmental activities report depreciation expense to allocate those expenditures over the life of the assets:	
Capital asset purchases capitalized	3,109,160
Gain/(Loss) on Disposal of Assets	(15,802)
Depreciation expense	(1,720,895)
Amortization expense on leased asset	(7,893)
Revenues in the Statement of Activities that do not provide current financial resources are not reported as revenues in the funds:	
Unavailable Revenues	(9,265)
Unavailable Taxes	(6,609)
Bond proceeds provide current financial resources to governmental funds, but issuing debt increases long-term liabilities in the statement of net position. Repayment of debt principal is an expenditure in the governmental funds, but the repayment reduces long-term liabilities in the Statement of Net Position:	
Bond Proceeds	(1,460,904)
Capital lease obligation principal payments	127,361
General obligation bond principal payments	994,664
Some expenses reported in the Statement of Activities do not require the use of current financial resources and, therefore, are not reported as expenditures in governmental funds:	
Accrued compensated absences	1,182
Post Employment Benefits Cost	(27,306)
Pension Plans (Deferred Outflows, Net Pension Liability, Deferred Inflows)	64,107
	<hr/>
Change in net position of governmental activities	<u><u>1,781,994</u></u>

The notes to financial statements are an integral part of this statement.

TOWN OF BAR HARBOR
STATEMENT OF NET POSITION - PROPRIETARY FUNDS
JUNE 30, 2023

Exhibit E

<i>Assets</i>	<i>Wastewater Enterprise</i>	<i>Water Enterprise</i>	<i>Total</i>
Current Assets:			
Cash and Equivalents	2,460,155	2,332,322	4,792,477
Receivables			
User Fees, net	645,202	68,086	713,288
Liens Receivable	21,858	-	21,858
Accounts	9,183	3,429	12,612
Bond	943,276	402,771	1,346,047
Due From Other Funds	3,551		3,551
Inventory	53,882	265,099	318,981
Prepaid Expenses		15,702	15,702
Total Current Assets	4,137,107	3,087,409	7,224,516
Noncurrent Assets:			
Capital Assets, net	10,481,822	9,749,846	20,231,668
Bond Issuance Costs, net	-	-	-
Total Noncurrent Assets	10,481,822	9,749,846	20,231,668
Total Assets	14,618,929	12,837,255	27,456,184
Deferred Outflows of Resources:			
Related to Pensions	97,351	67,085	164,436
Total Deferred Outflows of Resources	97,351	67,085	164,436
Total Assets and Deferred Outflows of Resources	14,716,280	12,904,340	27,620,620
Liabilities and Net Position			
Liabilities			
Accounts Payable	82,218	18,227	100,445
Retainage Payable	2,155	-	2,155
Accrued Salaries and Benefits	11,835	8,943	20,778
Accrued Interest Payable	3,749	18,150	21,899
Due to Other Funds	1,259,341	546,363	1,805,704
Compensated Absences Payable	25,205	16,359	41,564
Bonds and Notes Payable	1,061,240	709,213	1,770,453
Total Current Liabilities	2,445,743	1,317,255	3,762,998
Noncurrent Liabilities:			
Net Pension (Asset)/Liability	119,467	107,819	227,286
Bonds and Notes Payable	766,612	3,034,441	3,801,053
Total Noncurrent Liabilities	886,079	3,142,260	4,028,339
Total Liabilities	3,331,822	4,459,515	7,791,337
Deferred Inflows of Resources:			
Related to Pensions	51,100	46,117	97,217
Total Deferred Inflows of Resources	51,100	46,117	97,217
Net Position			
Net Investment in Capital Assets	8,653,970	6,006,192	14,660,162
Retained Earnings			
Reserved	1,957,365	2,408,941	4,366,306
Unreserved	722,023	(16,425)	705,598
Total Net Position	11,333,358	8,398,708	19,732,066
Total Liabilities, Deferred Inflows of Resources and Net Position	14,716,280	12,904,340	27,620,620

The notes to financial statements are an integral part of this statement.

TOWN OF BAR HARBOR
STATEMENT OF REVENUES, EXPENSES, AND CHANGES IN FUND NET POSITION
PROPRIETARY FUNDS
FOR THE YEAR ENDED JUNE 30, 2023

Exhibit F

	<u>Proprietary Fund Types</u>		<u>Total</u>
	<u>Wastewater Enterprise</u>	<u>Water Enterprise</u>	
Operating Revenues:			
Charges for Services	2,478,465	2,276,045	4,754,510
Interest - Late Penalties	8,062	648	8,710
Total Operating Revenues:	<u>2,486,527</u>	<u>2,276,693</u>	<u>4,763,220</u>
Operating Expenditures:			
Current:			
Salaries and Benefits	686,679	654,297	1,340,976
Contracted Services	376,988	396,495	773,483
Utilities & Commodities	246,174	58,219	304,393
Repairs & Maintenance	172,654	288,271	460,925
Equipment	5,714	4,757	10,471
Other Expenses	48,786	31,009	79,795
Depreciation and Amortization	579,796	327,940	907,736
Materials and Supplies	168,272	174,972	343,244
Total Operating Expenditures	<u>2,285,063</u>	<u>1,935,960</u>	<u>4,221,023</u>
Net Operating Income	<u>201,464</u>	<u>340,733</u>	<u>542,197</u>
Nonoperating Revenues (Expenses)			
Interest Revenue	15,958	18,657	34,615
Special Assessment	8,492		8,492
Jobbing Income, net of expense	-	2,949	2,949
Loss on Disposal of Assets	-	(656)	(656)
Contributions in Aid of Construction	-	(10,274)	(10,274)
Related to Pensions	(14,722)	(3,321)	(18,043)
Interest Expense	(31,618)	(92,026)	(123,644)
Total Nonoperating Revenue (Expenses)	<u>(21,890)</u>	<u>(84,671)</u>	<u>(106,561)</u>
<i>Change in Net Position (net income)</i>	179,574	256,062	435,636
<i>Total Net Position - Beginning</i>	<u>11,153,784</u>	<u>8,142,646</u>	<u>19,296,430</u>
<i>Total Net Position - Ending</i>	<u>11,333,358</u>	<u>8,398,708</u>	<u>19,732,066</u>

The notes to financial statements are an integral part of this statement.

REQUIRED SUPPLEMENTARY INFORMATION
SCHEDULE OF REVENUES, EXPENDITURES AND CHANGES IN UNASSIGNED FUND BALANCE
BUDGET AND ACTUAL - GENERAL UNASSIGNED FUND BALANCE
FOR THE YEAR ENDED JUNE 30, 2023

	Original Budget	Final Budget	Actual	Variance Favorable (Unfavorable)
Revenues				
Taxes	21,092,552	21,092,552	21,247,386	154,834
Intergovernmental Revenues	891,228	891,228	782,503	(108,725)
Departmental Revenues	1,500,445	1,500,445	1,801,539	301,094
Other Local Sources	351,499	351,499	666,883	315,384
Total Revenues	23,835,724	23,835,724	24,498,311	662,587
Expenditures				
General Government	4,273,610	4,168,335	4,315,329	(146,994)
Public Safety	3,946,661	4,004,536	4,095,564	(91,028)
Health and Welfare	245,369	245,369	237,306	8,063
Parks and Recreation	481,899	481,899	477,893	4,006
Island Explorer Shuttle Bus	13,500	13,500	5,000	8,500
Roads and Sanitation	2,487,986	2,535,386	2,774,594	(239,208)
Assessments	4,670,328	4,670,328	4,597,657	72,671
Total Expenditures	16,119,353	16,119,353	16,503,343	(383,990)
Excess Revenues Over Expenditures	7,716,371	7,716,371	7,994,968	278,597
Other Financing Sources				
Transfers In	633,521	633,521	632,172	(1,349)
Transfers Out	(8,761,392)	(8,761,392)	(8,761,392)	-
Total Other Financing Sources	(8,127,871)	(8,127,871)	(8,129,220)	(1,349)
Net Change in Fund Balance	(411,500)	(411,500)	(134,252)	277,248
Beginning Fund Balance - Unassigned			2,675,738	
(Increase) Decrease in Assigned Fund Balances			(64,500)	
Ending Fund Balance - Unassigned			2,476,986	

Reconciliation to Exhibit C:

Unassigned Fund Balance per above	2,476,986
Encumbrances	198,315
Reserve for Working Capital	2,412,500
Reserve for Insurance	500,000
Reserved for Fiber Lease	50,000
School Department	1,035,512
Cruise Ship Fund	1,667,983
Parking Meter Fund	706,194
Total Fund Balance Exhibit C	9,047,490

Reconciliation to Exhibit D:

Total Revenues per above	24,498,311
Dog Control Reserve	1,988
Shellfish Conservation Reserve	2,610
School Department	2,635,669
Cruise Ship Fund	1,278,060
Parking Meter Fund	2,062,880
Total General Fund Revenues per Exhibit D:	30,479,518

Reconciliation to Exhibit D:

Total Expenditures per above	16,503,343
Encumbrances	(31,095)
Dog Control Reserve	455
School Department	9,172,673
Cruise Ship Fund	205,776
Parking Meter Fund	557,085
Total General Fund Expenditures per Exhibit D:	26,408,237

UNPAID REAL ESTATE TAXES AS OF JUNE 30, 2023

2021

ALLEN, GARY L	\$3,990.14	*
BUTLER, LUCAS M	\$3,120.57	*
DERF C. B. -1	\$726.28	
EASTERN WATCH LLC	\$18,266.68	*
EHRlich, JONATHAN D	\$64.32	*
HAMOR, BRUCE F	\$2,923.97	*
HILTON, ADAM N	\$4,280.80	*
HOOPER, WALTER PARTY IN POS	\$2,768.48	
KRASON, IGNATIUS ET ALS	\$15.20	*
LANGE, CARROL M	\$470.39	*
LEVESQUE, JOY L	\$2,530.72	*
LURVEY, FRANK M	\$754.95	*
MACGREGOR, JESSIE ARLEEN	\$12.94	*
PARSONS, CECIL L JR	\$1,447.21	*
PARSONS, DONALD J	\$2,002.98	*
PARSONS, HARLAND A	\$2,098.01	*
PIRATE'S COVE BAR HARBOR, INC	\$11,918.88	
SMITH, LANA JOY	\$3,151.65	*

2022

7 IRIS LEDGE LLC	\$3,358.25	*
ALLEN, GARY L	\$8,366.00	*
BAR HARBOR HOLDINGS LLC	\$86.34	
BAR HARBOR MAIN & NEWTON RE, LLC	\$6,214.33	*
BOND HOLDINGS LLC	\$125.42	
BOND PROPERTIES LLC	\$224.68	
BOND PROPERTIES LLC	\$74.90	*
BOND PROPERTIES, LLC	\$141.47	
BOND PROPERTIES, LLC	\$88.83	*
BOND PROPERTIES, LLC	\$72.76	*
BOND PROPERTIES, LLC	\$71.55	*
BOND, JEREMY	\$92.86	*
BUHNER, MARTHA R HEIRS OF	\$4,229.89	*
BUNKER INVESTEMENTS	\$1,740.61	*
BURNS, GEORGE J	\$4,408.17	
BURNS, MELISSA R	\$3,072.32	
BUTLER, LUCAS M	\$3,283.41	
BUZZELL, ROBERT	\$7,363.31	
CLARK, DANIEL P	\$1,516.54	*
CROBB BOX COMPANY	\$160.77	*
CROBB BOX COMPANY	\$72.78	*
DERF C. B. -1	\$1,470.92	

* PAID AFTER 6/30/2023

75 **PARTIAL PAYMENT AFTER 6/30/2023

UNPAID REAL ESTATE TAXES AS OF JUNE 30, 2023

DIAMOND STAR PROPERTIES, LLC	\$905.17	*
EASTERN WATCH LLC	\$39,066.25	
EHRlich, MELISSA W	\$857.93	*
ELOYAN, AVETIK	\$2,009.88	
FINBACK ON COTTAGE, LLC	\$5,671.67	*
FINBACK ON COTTAGE, LLC	\$4,268.90	*
FINBACK ON COTTAGE, LLC	\$3,353.66	*
FITZGERALD & SON LLC	\$2,467.85	*
FRY, FRANCES J TRUSTEE	\$5,214.55	*
HAMOR, BRUCE F	\$3,069.46	**
HARRIS, PETER B	\$3,079.92	*
HIGGINS, THEODORE S	\$4,484.74	
HILTON, ADAM N	\$7,833.79	
HOOPER, WALTER PARTY IN POS	\$2,883.19	
HOSUR, VISHNU V	\$78.32	*
HUBBARD, LEON W & GRACE P	\$1,337.79	*
JENKINS, DAVID	\$4,363.94	*
JORDAN, MYLES R	\$2,362.91	*
KEENE, MICHAEL O	\$3,524.70	
KINTER, PHILLIPS W	\$3,212.08	
KRASON, IGNATIUS ET ALS	\$2,636.09	
LANDS END VENTURES, LLC	\$3,128.57	*
LANGE, CARROL M	\$1,412.00	
LEVESQUE, JOY L	\$2,645.70	
LURVEY TRUST, FRANCIS	\$1,194.36	*
LURVEY, FRANK M	\$1,646.74	**
LYNK, HAROLD R JR	\$1,855.80	*
MACGREGOR, JESSIE A HEIRS OF	\$4,363.94	*
MAINE WIDE PROPERTIES LLC	\$2,476.59	*
MANNIX, CHARLES R	\$6,151.55	
MAPLES B&B LLC	\$68.32	
MASTERSON, HOLLY	\$93.46	*
NEEL, JAMES C	\$4,025.61	*
PARAISO HOLDINGS, LLC	\$7,408.11	*
PARKER, JOHN L JR	\$3,764.21	
PARSONS, CECIL L JR	\$4,305.97	*
PARSONS, DONALD J	\$4,077.88	**
PIRATE'S COVE BAR HARBOR, INC	\$13,337.42	
RESTAURANT REALTY, LLC	\$2,230.35	*
RICHARDSON, RALPH M JR	\$2,664.05	
SAUCIER, SANDRA E	\$2,098.40	*
SMITH, LANA JOY	\$3,610.28	*
SMITH, LUCIAN	\$3,631.20	
STAPLES, TODD	\$3,957.17	
WALLS, ALLAN	\$1,874.76	*
WELLINGTON, LESLIE	\$2,850.88	*

* PAID AFTER 6/30/2023

**PARTIAL PAYMENT AFTER 6/30/2023



April 9, 2024

To: Town Meeting Voters
From: James L. Smith, Town Manager
Re: FY25 Municipal Budget

Following Town Charter Section C-31, Town Council and the Warrant Committee have reviewed the FY25 budget submitted by the Town Manager.

The Warrant Committee made initial recommendations for the reduction of the tax MIL rate, and the Town Council enacted budgetary reductions based upon the review and advice of Management to help the Town realize targeted savings, without loss of services.

After receiving the Warrant Committees budget recommendations on February 27, 2024, the Town Council enacted numerous budgetary reductions that exceeded the gross budgetary reductions recommended by the Warrant Committee.

The Warrant Committee continued to meet and discuss budgetary items after their Charter deadline of February 27, 2024 (fourth Tuesday in February per § C-31(D)) required to make recommendations to the Town Council on the budget, and they held their last meeting on April 8, 2024 after the Council had enacted budgetary reductions on March 19, 2024 based upon the recommendations of the Warrant Committee.

There was some debate by the Warrant Committee over the Parking Revenues; however, the Warrant Committee finally agreed to support the Town's efforts to take a measured approach to reviewing and revising parking fees, as appropriate. Internal staff research and analysis suggests that parking fees are stable and the Parking Policy is achieving its policy goal of managing traffic, while still bringing in significant revenues to offset property taxes. The Town will continue to monitor the parking situation and will make additional recommendations to maximize revenues while ensuring that traffic and parking management plans are running efficiently throughout the community.

The Warrant Committee agreed with the Town Council's recommendations for targeted reductions, while recommending an increase to Mount Desert Nursing Association by an additional \$3,000, and increasing the contribution to Bar Harbor Food Pantry by an additional \$614.

- Town expenses (General Fund & CIP) are up \$965,006, or 6.6%
- Conners Emerson school expenses (Operating & CIP) are up \$2,600,690, 35.7%
- MDI High School Tax Assessment is up \$413,062; or 10.4%
- Hancock County Tax Assessment is up \$157,615, or 16.6%

The net result is a 15.1% increase in total appropriations.

Estimated Assessed Values are up 1.2%.

Holding for the estimated assessed value the MIL rate will increase from \$8.68 to \$10.04.

The net impact on the median home value of \$522,350 will be a \$711 increase in annual taxes.

This budget proposal does exceed LD 1 limits, and additional information about that calculation may be found in the Charts section of the full budget, posted on the town's website at barharbormaine.gov/budget.

Town Staff are currently reviewing and analyzing Solid Waste and Recycling Operations in order to better control costs and determine if adjustments are necessary for ensuring equitable distribution of costs.

Parking Fund

Net Revenue is estimated at \$3,506,200, with \$365,875 scheduled to transfer to the General fund and \$2,946,820 transferred to fund capital projects in order to offset Town operational expenses.

The town completed a parking analysis to determine which areas of the system were constrained and under-utilized in order to determine if additional fee adjustments were justifiable, and recommended expanding the Cottage Street Premium area. Staff will continue to collect parking data for the Spring and Summer season in order to utilize one (1) years' worth of data for additional analysis and parking fee recommendations.

Cruise Ship Fund

The Cruise Ship Fund budget reflects the November 2022 Land Use Ordinance limiting passenger disembarkation to 1,000 persons per day. The fees (Service & Development) are set at \$5.54. This Fund will transfer \$406,863 to the General Fund to offset operational costs, and \$406,420 to offset capital improvement costs.

Respectfully Submitted,

James L. Smith

FY25 Budget

Municipal Budget: Budget Summary for Warrant Article

Fund	Appropriation (Expenditures) Requested	Revenues Other Than Prop.Tax	Fund Balance Used	Property Taxes Needed
Assessments				
County Assessment	1,105,370	0	0	1,105,370
High School Assessment	4,396,166	0	0	4,396,166
Overlay	50,000	0	0	50,000
Total Assessments	5,551,536	0	0	5,551,536
Municipal Budget				
General Fund	14,144,140	5,147,212	0	8,996,928
Capital Improvement Program Fund	7,992,215	4,236,487	0	3,755,728
Dog Control Reserve Fund	2,400	2,400	0	0
Shellfish Conservation Reserve Fund	3,000	3,000	0	0
Cruise Ship Fund	1,163,146	750,904	412,242	0
Parking Meter Fund	3,963,628	3,506,200	457,428	0
Total Municipal Budget	27,268,529	13,646,203	869,670	12,752,655
	Approp. Warrant			LD-1
Education Budget				
Elementary School Fund	8,805,537	747,000	453,063	7,605,474
Total Education Budget	8,805,537	747,000	453,063	7,605,474
Grand Totals				
	41,625,602	14,393,203	1,322,733	25,909,665

Mill Rate Calc:
25,909,665
 2,580,479,300
 0.01004

<i>Tax Rate Change</i>	
Tax Rate This year	\$10.04
Tax Rate Last Year	\$8.68
Tax Rate Increase	\$1.36
	15.7%

Total Taxable Valuation Next Year
 \$2,580,479,300

<i>What Will It Cost Me?</i>		
Median Home Value	Total Annual Tax	Total Tax Increase Per Year
\$522,350	\$5,245	\$711

Bar Harbor FY 2025 Budget Tax Calculation

	FY22	FY23	FY24	FY25	CHANGE	
DEPARTMENT EXPENSE SUMMARIES	Actual	Actual				
Town Council	\$ 38,475	\$ 46,062	\$ 40,490	\$ 46,600	\$ 6,110	15.1%
Town Manager	\$ 133,902	\$ 234,695	\$ 251,842	\$ 178,160	\$ (73,682)	-29.3%
Town Clerk	\$ 116,278	\$ 139,234	\$ 147,749	\$ 161,838	\$ 14,089	9.5%
Finance Dept	\$ 371,566	\$ 432,256	\$ 499,319	\$ 541,503	\$ 42,184	8.4%
Town Attorney	\$ 83,899	\$ 275,773	\$ 200,750	\$ 130,750	\$ (70,000)	-34.9%
Elections	\$ 13,261	\$ 17,924	\$ 23,050	\$ 19,600	\$ (3,450)	-15.0%
Technology	\$ 170,317	\$ 208,908	\$ 228,444	\$ 247,015	\$ 18,571	8.1%
Municipal Building	\$ 82,492	\$ 85,281	\$ 89,327	\$ 98,050	\$ 8,723	9.8%
Town Offices	\$ 48,635	\$ 66,410	\$ 57,000	\$ 66,250	\$ 9,250	16.2%
Employee Benefits	\$ 1,646,709	\$ 2,029,668	\$ 2,300,696	\$ 2,493,630	\$ 192,934	8.4%
Code Enforcement	\$ 144,983	\$ 146,420	\$ 208,954	\$ 205,089	\$ (3,865)	-1.8%
Assessing	\$ 127,437	\$ 139,005	\$ 183,848	\$ 194,629	\$ 10,781	5.9%
Planning	\$ 217,593	\$ 254,550	\$ 472,997	\$ 432,973	\$ (40,024)	-8.5%
Miscellaneous	\$ 348,364	\$ 297,065	\$ 237,000	\$ 332,700	\$ 95,700	40.4%
Fire / EMS	\$ 1,075,204	\$ 1,576,689	\$ 1,706,045	\$ 1,809,648	\$ 103,603	6.1%
Public Fire Protection	\$ 585,604	\$ 585,604	\$ 620,740	\$ 756,331	\$ 135,591	21.8%
Police Dept.	\$ 1,299,378	\$ 1,392,103	\$ 1,597,850	\$ 1,753,558	\$ 155,708	9.7%
Dispatch	\$ 274,050	\$ 292,850	\$ 300,398	\$ 337,817	\$ 37,419	12.5%
Public Safety Bldg	\$ 47,358	\$ 52,586	\$ 58,605	\$ 73,529	\$ 14,924	25.5%
Street Lights	\$ 24,551	\$ 19,516	\$ 15,370	\$ 19,370	\$ 4,000	26.0%
Harbor Dept	\$ 134,093	\$ 122,428	\$ 122,899	\$ 122,661	\$ (238)	-0.2%
Parks	\$ 142,415	\$ 160,998	\$ 212,544	\$ 265,147	\$ 52,603	24.7%
Recreation	\$ 269,000	\$ 303,065	\$ 303,065	\$ 490,217	\$ 187,152	61.8%
General Assist./COVID19 Exps	\$ 55,959	\$ 20,316	\$ 24,200	\$ 14,250	\$ (9,950)	-41.1%
Cooperating Agency	\$ 75,023	\$ 76,036	\$ 71,695	\$ 72,445	\$ 750	1.0%
Comfort Station	\$ 120,508	\$ 138,116	\$ 140,163	\$ 150,760	\$ 10,597	7.6%
Public Works	\$ 163,297	\$ 199,168	\$ 314,612	\$ 364,018	\$ 49,406	15.7%
Highway Dept	\$ 1,099,698	\$ 1,405,285	\$ 1,419,783	\$ 1,543,150	\$ 123,367	8.7%
Solid Waste	\$ 859,725	\$ 946,005	\$ 996,658	\$ 1,222,450	\$ 225,792	22.7%
SUBTOTAL	\$ 9,769,774	\$ 11,664,016	\$ 12,846,092	\$ 14,144,139	\$ 1,298,047	10.1%
Capital Improvements Transfer	\$ 1,690,946	\$ 1,699,007	\$ 1,812,238	\$ 1,479,202	\$ (333,036)	-18.4%
School Local - Transfer	\$ 6,112,039	\$ 6,782,772	\$ 6,898,400	\$ 7,605,474	\$ 707,074	10.2%
School CIP	\$ 385,146	\$ 279,613	\$ 382,910	\$ 2,276,526	\$ 1,893,616	494.5%
Total Connors Emerson	\$ 6,497,185	\$ 7,062,385	\$ 7,281,310	\$ 9,882,000	\$ 2,600,690	35.7%
TOTAL Expense Taxable	\$ 17,957,905	\$ 20,425,408	\$ 21,939,640	\$ 25,505,341	\$ 3,565,701	16.3%
Hancock County Assessment	\$ 833,472	\$ 896,367	\$ 947,755	\$ 1,105,370	\$ 157,615	16.6%
MDI High School Assessment	\$ 3,476,450	\$ 3,701,291	\$ 3,983,104	\$ 4,396,166	\$ 413,062	10.4%
Overlay Assessment	\$ 72,671	\$ 72,671	\$ 111,761	\$ 50,000	\$ (61,761)	-55.3%
TOTAL APPROPRIATIONS	\$ 22,340,498	\$ 25,095,737	\$ 26,982,260	\$ 31,056,877	\$ 4,074,617	15.1%
REVENUES						
General Revenues	\$ 2,842,837	\$ 3,570,172	\$ 3,477,711	\$ 3,819,074	\$ 341,363	9.8%
Reserve-Use of Fund Bal one time Exp		\$ 261,500	\$ 78,500	\$ -	\$ (78,500)	-100.0%
Reserve-Use of Fund Balance For CIP	\$ 100,000	\$ 150,000	\$ 50,000	\$ -	\$ (50,000)	-100.0%
Transfers In -Cruise Ship	\$ 97,500	\$ 238,656	\$ 351,417	\$ 406,863		
Transfers In -Parking	\$ 339,534	\$ 389,315	\$ 406,251	\$ 365,875		
Transfers In -Dog, Shellfish	\$ 5,550	\$ 4,143	\$ 5,750	\$ 5,400	\$ (350)	-6.1%
SUBTOTAL (REVENUES)	\$ 3,385,421	\$ 4,613,786	\$ 4,369,629	\$ 4,597,212	\$ 227,583	5.2%
State Revenue Sharing	\$ 473,452	\$ 514,660	\$ 475,000	\$ 550,000	\$ 75,000	15.8%
TOTAL DEDUCTIONS	\$ 3,858,873	\$ 5,128,446	\$ 4,844,629	\$ 5,147,212	\$ 302,583	6.2%
Net Commitment	\$18,817,622	\$19,915,901	\$22,137,631	\$25,909,665	\$3,772,034	17.0%
Taxable Valuation	\$ 1,931,994,100	\$ 2,136,861,800	\$ 2,550,418,700	\$ 2,580,479,300	\$ 30,060,600	1.2%
Mill Rate	9.74	9.32	8.68	10.04	1.36	15.7%
Total Municipal Budget	\$ 12,041,363	\$ 13,427,644	\$ 15,041,240	\$ 17,899,867	\$ 2,858,627	19.0%
- Total Deductions	\$ 3,735,491	\$ 5,128,446	\$ 4,844,629	\$ 5,147,212	\$ 302,583	6.2%
= Municipal Property Tax	\$ 8,305,872	\$ 8,299,198	\$ 10,196,611	\$ 12,752,654	\$ 2,556,043	25.1%
LD-1 Levy Limit - maximum	\$ 8,709,829	\$ 8,982,008	\$9,481,096	\$9,983,396	\$502,300	5.3%
Difference for LD-1 (under limit)	\$ (403,957)	\$ (682,810)	\$ 715,515	\$ 2,769,258		

Capital Improvement Program

Narrative Description

Next Year's Purchases & Projects - Highlights

In FY25, the Town proposes:

- Ballfield Comfort Station updated/upgraded
- Public Safety Building Repair
- Continued Road and Sidewalk Improvements
- Comprehensive Plan Implementation
- Purchase Harbor Floats
- Park Fountain Repairs
- New Telephone System

Our bond payments will total some \$4,585,000 including both Municipal and School debt service in FY25, or about 57% of our normal annual CIP appropriation, this increase due to new bonds sold in August of 2023 and anticipated Connors Emerson school build bond sale in the summer of 2024. \$406,420 will be transferred from Cruise Ship fees to help fund those related capital projects and debt service and \$2,946,820 from the Parking Fund to fund its related debt as well as other capital needs. These transfers represent 42% of the total CIP appropriations (excluding new bonding).

How the Capital Improvement Program Works

In order to better understand our Capital Improvement Program, it may be helpful to explain its purpose and function. As required by Section C-30A of the Town Charter, the CIP is "a program consisting of projects any one of which costs more than \$5,000 and meets one or more of the following requirements:

- construction time extends to two or more fiscal years;
- includes planning for, construction of or major renovation of a Town building, wharf, public way, sewer, drain or appurtenant equipment; or
- replacement or acquisition of equipment with life expectancy of five years or longer.

The CIP Fund is designed to ensure the Town is able to avoid surprises as we plan for the next five years, or longer with the anticipated replacement of capital assets. This helps to stabilize the tax rate, preventing wild swings from year to year despite large expenditures.

Through proper CIP planning, we are able to anticipate most of our large capital expenditures, providing the Town greater flexibility and avoiding unnecessary financing costs. With proper financial planning, the Town will be able to pay cash for most capital assets. Furthermore, having a strong cash-financed CIP program improves the Town's credit worthiness with credit agencies, such as S&P & Moody's for those times when borrowing makes greater fiscal sense.

In order to maintain a pay-as-you-go CIP program, it is necessary to track the estimated useful life of all capital assets, with a realistic depreciation schedule. Accordingly, the budget also includes an "Equipment Replacement Schedule" listing all major equipment and buildings, depreciation rates, and proposed replacement dates. The CIP also contains some contingent purchases and projects which will be undertaken only if we are able to obtain the needed additional funds from grants or bonds.

Other than *Enterprise Fund* assets (Water/Sewer) all Town capital assets are tracked through this fund, which is why purchases of assets for the benefit of Cruise Ship/Parking Funds are appropriated and recorded here but funded by those funds.

Capital Improvement Program

Narrative Description

For capital accounts, appropriations (authorizations to spend) are "continuing appropriations." That is, once Town Meeting authorizes spending capital funds, the authorization to spend the money continues from year to year. The appropriation does not lapse at the end of the year like it does with operating budgets. This funding mechanism has the additional advantage of creating an emergency source of funds, since accumulated reserves can be spent for major repairs or emergency replacements, without the delay inherent in calling a Special Town Meeting.

Debt Management Policy

In 2008 Council adopted, and later amended in 2022, a *Debt Management Policy* that basically states that debt will be issued for a capital project only when it is an appropriate means to achieve a fair allocation of costs between current and future beneficiaries or users. Additionally, the policy states that the asset should have a life of at least five years and will be used only for capital projects or equipment and the debt issuance period will not exceed the average useful life of the project. The complete policy is on the Town's website.

Fund Balance Policy

The Town's fund balance policy encourages the Town Manager and Council to annually review any fund balance surplus generated each year from the prior year's operations to consider a nominal drawdown from newly created surplus from the prior audit year results in order to accelerate funding specific CIP projects. In FY23, that drawdown was scheduled for \$150,000, but projects were deferred. Also, \$261,500 was appropriated for FY24 for three CIP projects which were scheduled to be completed (bandstand, Glen Mary pool & ballpark comfort station). The proposed Fund Balance Drawdown for FY25 is \$0.

Terminology

This capital plan covers five fiscal years, the first of which is often referred to as Year One. Although it starts on July 1, 2024, Year One is designated as Fiscal Year 2025, since it ends on June 30, 2025. Fiscal Year 2025 is usually referred to as FY25 on most schedules. This year's Capital Improvement Program covers the five years from FY25 to FY29. Years 2 thru 5 are budgetary estimates and are not voted on, nor committed with appropriation votes at the annual Town Meeting.

Revenues

Non-Tax Revenues

State DOT – Local Road Assistance Program (LRAP) – State Law, 23 MRSA 1803-B(1-A-2) limits the use of LRAP funds to capital improvements related to roads.

Sale of Assets – Reflects any direct asset sales, such as used vehicles that are not budgeted as trade-ins.

Fire Station Cell Phone Antenna Lease – The revenue from the Fire Station cell phone tower lease has been earmarked for maintenance of the Public Safety Building. In FY22, AT&T added an antenna to the building in addition to Verizon's antennae.

Lease Payments by Water Fund – The rent was calculated as follows: The Water Division occupies approximately 37.5% of the Public Works Complex space. However, since a portion of the debt service costs includes the pole barn and salt shed we reduced the percentage chargeable to the water division to 33.3%. We use a 5-year average of debt costs and equals a lease transfer of \$77,682 per year.

Capital Improvement Program

Narrative Description

Lease from Atlantic Fleet/Bay Ferries – This revenue source represents the annual proceeds from a 5-year lease on the use of the land at the Ferry Terminal property which is used to help pay the annual debt service that the Town is obligated on. The lease expires on 10/31/2023, with a one-year renewable option for the tenant to execute. However, in FY22, the Council voted to extend the lease by two years in recognition of the forced inactivity in the summer of 2020 and 2021.

CIP Property Taxes Transferred in – CIP funding from taxes is the net result to balance out the proposed appropriations to CIP (for all projects, equipment replacements, debt, etc.) after we consider all other CIP income sources coming in.

Inter-Fund Transfers In:

G/F Transfer In from Fund Balance – By policy, if the undesignated General Fund balance grows beyond its needs, then any drawdown of funds is transferred by the Town Manager to the CIP Fund during the annual budget process. Those items in FY25 are noted with a FB\$ indicated.

Sewer/Water Transfers In – None proposed in FY25

Parking Meter Fund: These monies are transferred to acquire, construct, maintain and operate capital infrastructure projects. These include sidewalks, Highway vehicles, street lighting, and road improvements. Items that are wholly or partially funded by the Parking Meter Fund are denoted with a single * in the line item description along with the \$dollars PF transferred to the CIP Fund.

Cruise Ship Fund: Port Development Fees – Annually we will transfer available Port Development Fees from the Cruise Ship Fund to the CIP Fund for use on Town owned projects reasonably related to capital improvements or debt service that benefit in whole or in part the cruise ship passengers. These items, partially or wholly funded by the Cruise Ship Fund, are denoted with an ** in the line item description along with the \$dollars CS transferred to the CIP Fund.

Expenditures

Technology Division - #22

Copy Machines – #6114 - We have three copy machines in the Town Office that provide the hundreds of thousands of copies each year to serve the Town Council, Warrant Committee, Planning Board, Appeals Board, Design Review Board, Harbor Committee, Marine Resources Committee, and other boards, committees, commissions and task forces, as well as staff administrative needs. A fourth copy machine is located at the Police Department. We gain the ability to redeploy the older copiers to other offices where less volume is required.

Fiber Network – #6115 - This originally was a project to study providing secure data connections to all the Town facilities. The Town was informed in 2019 that *Charter Communications* does not wish to continue providing free “I-Net” fiber to some of the Town’s facilities, including the schools & library, as part of renewing the franchise agreement, which expired in March of 2015. In FY22 the Town meeting voted to move ahead in creating a Town network to and for most of its facilities and bonded \$750,000,

Capital Improvement Program

Narrative Description

and Consolidated Communications was selected for the build out. Currently being built out, CCI is completing construction. We anticipate being fully on line at the end of FY24.

Fire Protection System (server room) – #6119 – This is an upgrade to our Server Room that provides a special emergency fire suppression system that will put out a fire while not destroying the critical electrical equipment. This system protects our vital communications and thousands of dollars of equipment.

Wide Area Network, Broadcast & WiFi Systems – #6120 - Our broadcasting equipment used for the government channel was replaced in FY13. However, an upgrade needs to occur in FY25 since no franchise agreement has been signed. There are also design plans to renovate the auditorium which would include a new broadcast system covering 2 meeting rooms. Funding for this would most likely be in the form of a bond. Replacement switches for much of our wide area network (WAN) system occurred in 2020. The WAN is the communication system utilizing the fiber optic cable system owned by Charter Communications and running between all Town buildings and facilities.

Computer Servers; Data & Video Storage: – #6124 - The Town facilities are linked by our fiber-optic Wide Area Network (WAN) allowing all departments to share information and files, such as digital archiving, assessing, maps, the property and GIS database, word processing, spreadsheets, the Finance's Munis system, e-mail backup, scanners, security cameras, SCADA (supervisory control and data acquisition) systems; 17 VM systems are running and are hosted on 3 servers. We replace these three critical servers every three years at the replacement rate of one per year as well as 2 storage devices (NAS's) that hold all data and video storage that make up everything we do. Starting in FY21 the PD vehicle videos are now stored through a monthly contract on the cloud.

Website Improvements – #6126 - A website rebuild with a new vendor was completed in FY14 and an upgrade/redesign was completed in FY2018. This reserve account is for future needs.

Town Phone System – #6128 - The Town has a *Mitel* VOIP system with 85 licenses installed in all its facilities. It is expected to have a 12-year life with an anticipated replacement in 2025. Support services have been cancelled as the system has the system is "end-of-life." Since we will no longer be able to receive service maintenance support from the vendor, we are requesting to move ahead and replace this asset one year early.

Security Camera System - #6231 - This is an IP based system with 37 active cameras at many department locations. The software license was upgraded to *Blue Iris* software support in FY21. Cameras in the network are now replaced as needed.

Municipal Building - #24

Building Renovations – #6130 - There are various other targeted improvements recognized in the Municipal building. Town Hall has the two primary boilers, the oldest being over 22 years old. Concept drawings to upgrade the auditorium into a modern Council/Voting area have been completed, but no plan has been put forward to implement these changes. In FY24 cooling units for the east side of the Municipal building were purchased and installed. The Planning Department also renovated their office space.

Building Energy Audit /Improvements - #6136 – This account was added by the Town Council in FY21 that will explore alternative energy uses, likely with a focus on less dependence on fossil fuels.

Capital Improvement Program

Narrative Description

This entails an energy audit, sourcing previous studies but recognizing and researching new technologies available and defining the scope of the project.

Code Enforcement Division - #30

Code Officer Vehicle – #6150 – This is a 2021 AWD hybrid vehicle.

Assessing Division - #32

Geographic Information System Equipment/Vision Assessing Software – #6115 - Many of the Town's maps, surveys and plans are stored digitally for our archives and Geographic Information System (GIS). GIS is a digital, computerized map that is linked to source documents in a computer data base: lot lines, deeds, building locations, topographical features, water shutoffs, sewer connections and maintenance records. The GIS software allows staff from across all departments to share the GIS database and generate, edit and retrieve maps and data for Town facilities and other local features. A reserve has been funded to allow replacement of scanning, plotting and field GPS equipment as it wears out or justifies upgrading.

Property Revaluation – #6116 – A corrective statistical update of tax assessments occurred during the summer of 2021 that relates to tax assessments for FY22.

Assessing/TSA Vehicle Reserve – #6150 – An electric vehicle was leased in FY22. It is also used year-round for required travel by the Technology Administrator for field repairs at the departments. Funding for another AED EV is scheduled for FY25.

Ortho Photo Update – #6160 - These distortion-free aerial photos of the town are an invaluable tool for taxpayers, real estate agents, surveyors, contractors and Town staff. Our Ortho photos were last updated in FY14/FY15 as part of a *League of Towns/County* collaboration project which reduced our cost significantly. The next State Ortho Photo collection in our area was completed in the spring of 2020 and the Town selected 6-inch pixel photography, the same level as in 2014. A newer technology called Pictometry was contracted for Spring FY22. This imagery takes pictures of the community from a side angle to the ground, which enables the viewer to see the sides as well as the top of structures. This addition will allow more comprehensive data to be easily available, especially for emergency/public safety reasons. Additionally, this data will allow Change Finder software to compare any changes in the structures from a previous flyover that were not previously in the Town's assessing database.

Planning Department - #34

Lower Main St. Streetscape – #6164 – Initial concept design work on a streetscape was completed years ago and then the next step in the process was with Lark Studio, so that long term construction costs and planning could be completed. Engineering studies and estimates for various options also need to be completed on what is anticipated to be a multi-million-dollar project.

Cottage St. Streetscape – #6166 - Design work on a streetscape was completed in FY17 by Lark Studio and the next step was to fund a more detailed engineering study so that long term construction costs and planning can be better ascertained. This is a multi-million-dollar project.

Capital Improvement Program

Narrative Description

Comprehensive Plan Implementation – #6167 – \$50,000 to assist in implementing the Comprehensive Plan. This money would be used to hire consultants with expertise that we do not have in-house. For example, this could include assistance with form-based code which is an alternative to conventional zoning regulation and design guidelines, master planning, etc.

Ambulance Division - #40

Ambulance – #6200 - Our 2012 ambulance is scheduled to be replaced when it is twelve years old in FY25. The purchase price includes related equipment, patient power load system and power load stretcher. The oldest ambulance is housed in Town Hill and will be used as a reserve ambulance for both Bar Harbor and Mount Desert. There currently is an estimated 36-month delivery time.

Defibrillators/Chest Compressor– #6202 - A defibrillator is a piece of ambulance equipment which electrically stimulates the heart to restore the correct pulse. The 2 new units purchased in 2017 also interpret heart rhythms, monitor a patient’s vital signs, and act as a log for administering medications and maintains the patient information electronically that is downloaded to our run reporting software and allows for transmission of patient information to a hospital during transport. This information is then used for mandatory reporting and for subsequent e-billing by Finance. A mechanical CPR device was purchased in FY20 and is included in this reserve.

Patient Simulator Mannequin - #6204 – A patient simulator mannequin was purchased for in house professional training in FY18 with an expected 8-year life.

Fire Department - #42

Turnout Gear – #6204 - In 2015 the Fire Department was awarded a Federal Assistance to Firefighters Grant which replaced 23 complete sets of firefighting turnout gear. Since that time, the Fire Department has continued to replace damaged and expiring turnout gear as needed for the 10 firefighters that weren’t covered by the grant. National Fire Protection Association standard 1851 requires that all turn-out gear to be replaced every 10 years after the date of manufacture. To meet this standard, all 23 grant-funded turnout gear sets will require replacement in FY 26. The remaining turnout gear in the department’s inventory will require a staggered replacement through FY36.

Hose & Couplings – #6206 - The Fire Department was awarded an Assistance to Firefighters Grant in 2015 which facilitated the purchase of 3000’ of large diameter supply hose and 2300’ of large diameter attack hose. The department has continued to replace aging hose on an as needed basis, as it has become damaged, or when it no longer passes NFPA 1962 required annual testing. The expected date of replacement for the fire hose purchased through the Assistance to Firefighters Grant is expected in FY31.

Rescue Tools – #6212 - The Fire Department has one primary set of hydraulic rescue tools located on Ladder 4, with a smaller auxiliary unit located in Town Hill. The primary hydraulic pump was replaced in FY17 after the original power unit failed. The remaining hydraulic tools are nearing 20 years of age with the auxiliary unit being in service for over 20 years.

Fire Engine Tanker #1 - #6214 - This pumper was purchased in 2003. In FY24, the pumper was refurbished and with the refurb we are expecting to extend the life of the pumper from 25 years to 30. The pumper is now scheduled to be replaced in FY33.

Capital Improvement Program

Narrative Description

Fire Engine #4 Ladder Truck/Quint – #6218 – This ladder truck was purchased from Greenwood Emergency Vehicles (E-One) through the normal bid process in FY18. It is being used as the primary responder vehicle and has an expected 22-year life in that capacity. 75' ladder/1250gpm

Fire Engine #5 Reserve – #6220 - Engine 5, a 2020 E-One Typhoon pumper with a 1500 gpm pump and 1000-gallon water tank. This unit was replaced in FY20 and is expected to have a 25-year life.

Portable Radios - #6222 – The department currently has 20 portable radios that should have a reserve set up for replacement in four years where the replacement will be 23 portable radios.

Command, Utility Vehicles (3)/Mass Casualty Trailer – #6224 - The Fire Department has two command vehicles operated by the Chief and Deputy Chief. These command vehicles are set up to be used as incident command posts and routinely respond to medical and fire emergencies. The third vehicle is a utility vehicle which is used for day-to-day operations, is equipped to respond to wildland fires during the summer, transports the Mass Casualty Trailer and is also used for hauling contaminated equipment after an incident. The Mass Casualty Trailer was purchased through a Port Security Grant and is scheduled to be replaced in FY30. The Fire Chief's vehicle and associated equipment is scheduled to be replaced in FY26.

Thermal Imaging Cameras (3) – #6226 - The Fire Department operates with four thermal imaging cameras. Each frontline fire apparatus has one thermal camera to allow our firefighters to deploy these devices rapidly at a fire to assist with search and rescue. Due to a failure, the oldest unit which was originally purchased through a donation was replaced with a new thermal camera in FY23.

SCBAs & Cascade Compressor System – #6227 - A 2009 Port Security Grant provided 75% funding for 20 high-volume self-contained breathing apparatus units, one Rapid Intervention Team (RIT) pack, 41 air cylinders and a cascade/ compressor fill station. All 20 SCBA are scheduled for replacement in FY29, at 20 years of age, and the cascade/ compressor fill station is scheduled for replacement in FY34, when it is 25 years old. Due to a mandated service life limit of 15 years, all 41 SCBA bottles are being replaced in FY23. Due to wear and tear, the RIT pack is being replaced in FY23. The RIT pack is used to assist injured or trapped firefighters in a hazardous atmosphere.

Dry Hydrant – #6228 – This account is set up to provide funds to repair and replace dry hydrants as needed.

Police Department – #45

Parking Enforcement Vehicle - #6228 - The Hybrid Toyota RAV4 and full electric Chevrolet Bolt are funded solely by parking fees.

Parking Meter & Related Equipment - #6229 – This is the reserve account for eventual replacement of equipment related to parking meters and all support equipment in the system. It is funded entirely by transferred in funds from the Parking Fund and for FY25 will fund 61 kiosks and the license plate reader (LPR) system with 4 cameras.

Capital Improvement Program

Narrative Description

Cruiser Equipment - #6230 - Each time we purchase a cruiser, the equipment in it, which has a 4-year life expectancy, gets replaced. This equipment included is the console, cage, charge guard, graphics, antenna and wiring, trunk tray, computer dock top, siren control and related labor. The remaining equipment in a cruiser is expected to last eight years, or through the life of two cruisers and includes the radar, video system, light bar, gun rack, radio & AED units. At the end of that eight year cycle those items need replacement. Labor for this equipment is included with the 4-year equipment.

Electronic Fingerprint Scanner - #6231 - All people who are arrested or criminally summoned are legally required to provide their fingerprints. Our Police Officers arrest and/or summons approximately 300 people annually. The PD relies on ink pads and paper print cards to collect fingerprints, techniques used 50 years ago. Modern booking facilities often rely on electronic fingerprinting machines which eliminate the need for ink, paper, the associated mess and mailing them out along with the associated delays caused by each step. The electronic fingerprinting machine will connect us to the state and national fingerprint databases which could help us identify wanted persons or assist in investigations in a timely manner. We need to conform to the make and model prescribed by the Maine State Bureau of Identification to ensure integration with the state and federal systems. Fingerprint Scanner was purchased in FY24 and is currently in use.

Port Security Boat – #6233 - Purchased with the FY08 Port Security Grant. Starting in FY12, we funded a reserve with cruise ship Port Development Fees, which will allow replacement of the boat when it is twenty-three years old in FY32.

Cruiser Replacement – #6234 - We put approximately 132,500 miles on our fleet annually. With six funded cruisers we rely on five front line cars with the sixth being assigned to our Captain. Our plan is to have our cruisers reaching the end of life as a front-line patrol car at around 100,000 miles; at that point they become our spare cruiser. To stay on track with this plan, we will purchase one car a year for three years and every fourth year we purchase two. Car 502, a hybrid cruiser purchased in FY23, is an administrative cruiser assigned to the Police Captain and is cost shared with the Town of Mount Desert through the Employee Leasing Agreement.

Records Management System-*Spillman* – #6236 - *Spillman* is the common system used by the other local agencies. All law enforcement agencies and dispatch operations in Hancock County utilize *Spillman* through a shared server located in Ellsworth. Fire agencies are beginning to join on our shared server; Bar Harbor and Mount Desert are the pilot agencies for the fire service. The shared *Spillman* server allows all agencies using it to seamlessly share data and information during emergencies and for long term record keeping which enhances public safety. Funds in the CIP are for our share of future server maintenance, module upgrades and other improvements made as this regional system grows.

Portable Radios – #6237 - Most Police radios were purchased with a federal grant in 2012. With an estimated life cycle of approximately 10 years, we expect to replace 20 portables in FY2025, the same year as Mount Desert. This will ensure equipment compatibility between PD's.

Tasers – #6238 - Originally purchased in FY23. Replacement schedule for Tasers is aligned with the Mount Desert PD replacement cycle to ensure consistency with equipment between the agencies. All Tasers are designated for replacement in FY28.

Capital Improvement Program

Narrative Description

Firearms – #6240 - 18 handguns replaced every 10 years and 12 rifles replaced every 12 years. Replacement schedule for firearms is aligned with the Mount Desert PD replacement cycle to ensure consistency with equipment between the agencies.

Speed & Traffic Trailers – #6241 – The radar trailer was purchased in 2008 and was upgraded to a radar/message board trailer and the 2015 unit is also used as a radar/message board.

Planning & Public Safety Collaborations - #6243 – this account is intended to facilitate being responsive to existing goals in the Police Chief Sharing Agreement. Specifically, funds will assist with funding consultants and experts needed to assist with strategic planning for a singular employment entity and a singular consolidated facility for all Police and Dispatch personnel for the Towns of Bar Harbor and Mount Desert. Collaboration with other entities for dispatch, etc. will also be included.

Dispatch Department – #47

Voice Recording System - #6231 – This is the Dispatch recording equipment for 911 calls and radio transmissions. The current recorder was purchased in FY23 and is designed to record all phone and radio communications for both Mount Desert and Bar Harbor pursuant to the goals in the Police Sharing Agreement. Integration will take place after the dark fiber project is completed.

Radio Dispatch Command Console - #6232 – The 2 units and components were replaced in FY2022 and are interoperable with the consoles in Mount Desert. Modern consoles are primarily software applications; future replacements are for the hardware or computers that run the already purchased software and associated service agreements to maintain it all.

Ireson Hill Radio Building & Generator - #6235 – Replacement/upgrade is scheduled for 2029 when the building is 35 years old and the generator is 20 years old. The Tower on the property is owned by the Housing Authority.

Radio Equipment - #6239 - This equipment is broken down in 5 components and are scheduled for replacement at various times, starting in FY24, and as listed on the Equipment Replacement Schedule.

Public Safety Building – #49

Public Safety Building Generator & Shelter Generator Reserve – #6242 - The Public Safety Building has a generator installed in 2000 with 30-year life; rated at 35kW, fueled by LP gas. The generator located at Connors Emerson school is rated at 140kW and was installed in 2009; also fueled by LP gas.

Public Safety Building Renovations – #6244 - Income from the Verizon & AT&T cell phone antenna leases is dedicated to renovation of this century-old building and the adjacent Police Station. Our priorities are to renovate the Fire Station kitchen, continue work on an air conditioning system for the second floor of the Fire Station, continue window replacements, and exterior preventative maintenance.

Public Safety PD Roof – Police Department – #6246 – For Police building maintenance and updates.

Public Safety-Workout Equipment – #6248 – Replacement reserve for equipment to help maintain

Capital Improvement Program

Narrative Description

physical readiness for the Police, Dispatch & fire staff.

Harbor Department – #53

Boat & Trailer – #6250 – In FY22 we purchased a new 16-foot aluminum skiff to replace the Mrs. B which was traded in towards the purchase of the new boat (Lund).

Floats – #6252 - Four 8X30 finger floats were replaced in FY24; four 16x24 public transient floats are scheduled to be replaced in FY25.

Gangways – #6254 - Currently we operate four 50’ gangways with replacements scheduled as needed. Due to ADA regulations any new gangway must be 80’ long which will present design issues with existing float systems. We will likely redesign the next replacement transient floats and incorporate a new 80’ gangway in FY25.

Fishermen’s Hoists – #6256 - Two electric winch hoists are currently in operation, one with a 500lb lifting capacity that was built in FY23 and the second with a 200lb lifting capacity that went in service in FY16. The older hoist is scheduled for replacement in FY26.

Ferry Terminal Improvements – #6258 - Capital costs for any future development as well as any immediate needs for the property are budgeted here. All Ferry Terminal related consultant(s) costs are also accounted for here.

Port Security Building - #6260 – A reserve to plan for any future replacement or maintenance which is now partially funded by the Parking Fund as all Parking and Harbor Operations are housed in the Port Security Building.

Breakwater - #6264 – The Army Corps of Engineers has accepted the breakwater repair as a maintenance project and they are in the early stages of planning and seeking congressional funding for the project.

Pier Renovations - #6266 – The entire fender piling system (17 pilings) was replaced in FY23 with pressure treated pilings. The fender piling system should be scheduled for replacement in FY33.

Boat Pump Out System - #6268 – This is a reserve for eventual replacement of the boat pump out.

Pickup Truck - #6269 - The current Harbormaster Truck was purchased in 2009 for use by the Bar Harbor Fire Department using funds from a Port Security Grant. Historically the Harbormaster’s Office has inherited pick-up trucks from the Fire Department when they are replaced; however, the Fire Department no longer has a 3/4-ton truck. In order to accomplish the tasks of the Harbor Master a heavy duty 3/4 pickup truck is required.

Parks Section – #59

Museum in the Streets – #5448 - Interpretive signs designating historical points of interest around the downtown were erected in FY13 and more added during FY19. Cruise Ship Port Development Fees are fully funding annual payments into a maintenance reserve account.

Capital Improvement Program

Narrative Description

Benches and Bike Racks – #6300 - A line item to provide capital reserves as these park components are expanded or replaced. Funded by Parking Fund and Cruise Ship monies. The Park Bench Plaque program also funds the replacement of park benches through donations made by parties interested in having a plaque on a bench in one of our parks. Public donations are also accepted.

Grant Park Renovations – #6302 – This park was renovated in 2017, with some donations from the BH V.I.A, Cruise Ship Funds and taxes. An annual replacement reserve has been funded primarily using cruise ship Port Development Fees. We are requesting a higher funding reserve this year due to drainage work needed in the future.

Tree Planting – #6304 - Annual funding of replacement of old and diseased trees. We are requesting a higher funding reserve and spending due to an increase in the number of trees that need to be replaced and we are catching up on trees that have not been replaced in years past.

Park Irrigation Systems – #6306 - This reserve funds future replacements of the four irrigation systems installed in Barker Park, Village Green, Agamont Park and Grant Park. In FY24, a new irrigation system was installed at the Little League Field through a donation made to the Town by Wilson Irrigation Systems. Annual reserve funding should be increased to reflect the additional asset beginning FY26.

Skate Park Reserve – #6308 – This was originally privately funded and built at the Town’s ballfield. In 2017, it was accepted by the town to maintain.

Mount Desert Street Cemetery – #6310 - During FY03 we received a bequest from the estate of Crystal T. Sprague, on the condition that the funds be used only for the maintenance and repair of the Mount Desert Street Cemetery. Headstones have been cleaned and a gate was installed at the north end. We anticipate building paths; regrading and reseeding the sod; replacing overgrown shrubs; installing an irrigation system; repointing the stone wall, installing fencing; and possibly illuminating the Civil War Memorial. A boundary survey indicates the need for a line agreement between the Town and the westerly abutter. Once this is completed, we would like to select a designer and finalize design improvements, with construction to follow. Repointing portions of the stone wall was completed in FY23.

Playground Equipment – #6312 - This account was established for the purchase of new park equipment or the replacement of worn-out equipment as the need arises for either Park Street or Town Hill. Town Hill and the 2017 renovation to Park St. Playground were primarily funded by private donations but the maintenance reserve is now through taxation. In FY25 and FY26 we anticipate repairing existing fence and adding new fence and gates around the playgrounds to address safety concerns from residents.

Launch Ramp – #6314 - This was installed at Hadley Point in 2006. Some concrete deterioration has occurred and rebar is showing in 2023. Repairs are likely needed in the next few years given this is a popular water access for the Town.

Tennis & Basketball Courts – #6316 - Reserve set up for future renovations of the tennis court facilities and basketball courts. The tennis/pickleball court was renovated in 2020 at a cost of \$130,000. \$3,500 in FY24 projected cost to resurface and line the basketball court. This will preserve the court surface.

Capital Improvement Program

Narrative Description

Village Green Bandstand – #6318 - The bandstand was rebuilt in FY10; however, an expansion in size and enhanced lighting and acoustics is needed due to the popularity of the band events. Expansion was anticipated in FY24; however, this has likely been pushed to FY27 due to fund raising needed.

Glen Mary Pool Renovations – #6332 - This facility located on Village Improvement Association (VIA) land was last fully renovated in 2009. It is also used as a skating rink during the winter when temperatures permit the area to freeze over. The VIA is taking the lead on replacing the pool and associated facilities. Private donations may supplement or add additional funding to budget.

Harborview Park – #6334 – This account was established to provide a reserve for upkeep of the park. An \$89,000 railing replacement was completed in FY21. In FY22, ten new park benches were installed.

Downtown Wayfinding Signage Reserve – #6336 - Originally funded by a 2014 bond with the debt service now being paid by annual transfers from the Cruise Ship fund's Port Development fees. In FY26, after the West Street bond projects are completed, a new wayfinding sign and directory is planned for pedestrian area at corner of Eden and West Street.

Agamont Park – #6340 – Repair of the lawn area along Agamont Lane was completed in FY24. New funding will address repairs needed to the Gazebo and reserve money for future repairs to the Pergola.

Village Green Park Water Fill – #6342 – This line item is to install a new water fill station near the Village Green Fountain. Reserve funding to replace every five years.

Barker Park Security Enhancements – #6344 – Enhance security of Barker Park with landscape improvements and/or lighting. Lighting to be coordinated with Cottage Street undergrounding project if feasible.

Ballfield Parking Lot – #6346

Pave the three parking lots at the ballfield in FY26 after the Main Street bond project is completed: paid parking area, tennis court, and the dirt lot on Main Street. Fund future years for maintenance and upgrades.

Comfort Stations – #70

Restroom Reserve – #6350 - There are four comfort stations funded by this replacement reserve: the Ballfield, the Pier, Newport Drive and Village Green. This reserve account is partially funded each using Cruise Ship Fund's Port Fees for the Newport Dr & Pier facilities. The Ballfield comfort station is anticipated to be upgraded in FY25, one year earlier than prior CIP plan. Planning for the renovation and relocation of the Village Green comfort station is funded under Police 2149-6246.

Highway Division - #77

Air Compressors / Welder unit– #6400 - Highway has one compressor located at the Public Works facility and a mobile one it borrows from the Water Division on a trailer. The old welder was replaced in FY23.

Capital Improvement Program

Narrative Description

Backhoe – #6402 - Highway has one backhoe that was replaced in FY24. We have a shared backhoe with Solid Waste, Water and Wastewater that was purchased in FY23.

Brush Chipper - #6404 - This was replaced in FY2019 with a *Vermeer BC1500* unit.

Bikeway/Pedestrian Improvements - #6404 – This is a new account to use towards making these transportation modes safer in the congested downtown. All funds are transferred in from the Parking Fund. Potential projects are extension of shared use path on Eden Street and the expansion of sidewalk on Rodick Street.

Road Grader – #6408 - The Town maintains two dirt roads and utilizes the grader to perform this work as well as other road shoulder work, including addressing wash out areas. Replacement of our old grader has been deferred to FY29, when it will be thirty-eight years old. We anticipate replacing the unit with a newer, used grader at that time.

Parking Lot Acquisition - #6410 – This is a new placeholder account to accumulate funds to acquire any possible downtown parking space in the future and is funded by Parking Fund fees.

Hydraulic Truck Lifts - #6412 - We have a 15-ton truck lift purchased in 2000 and a 5-ton car lift purchased in 2004. The 15-ton was replaced in FY22 with new mobile columns. The 5-ton car lift is expected to be replaced in FY26.

Front End Loader – #6414 - A new wheel loader was purchased in FY15. We expect to replace this unit in FY27.

Excavator – #6416 - This was a new Bobcat excavator purchased in FY17. This machine is utilized for ditching, catch basin and culvert replacements.

Snowblower – #6418 - Purchased in FY16; the 234hp unit attaches to the Front End Loader.

Road Improvement Program – #6420 - The Parking Fund has now enabled a transfer of \$1,500,000 annually to assist in road improvement rebuilds in the downtown and out of town roads. In addition, this also funds road restoration on Water and Wastewater projects, such as Glen Mary Road and Hancock Street.

Fuel Pump System – #6422 - New software & components were installed in 2018. A new fuel tank was ordered and installed in 2024 when the tank failed its annual inspection. The reserve includes the pump system equipment, software, and tank.

Sidewalk Plow – #6424 - The sidewalk plow is a 2022 Multihog that also has sanding, sweeping and snowblower duties in addition to plowing. Replacement was made in FY23. This is the only sidewalk plow for the Town.

Sidewalk Reconstruction – #6426 - This receives funding from both the Cruise Ship Port Development fees and the Parking Fund each year. Generally, monies spent here aligns with the approved road construction projects. There is currently work focused on or anticipated to be on Main Street, Glen Mary Road and Rodick Street.

Capital Improvement Program

Narrative Description

Heating and Hot Water Systems - #6428 – The current pellet boiler is over 10 years old and is anticipated to be replaced in FY24. Hot water system is over 10 years old and is anticipated to be replaced in FY25.

Steamer/Pressure Washer – #6430 - This unit was replaced in FY2019 with an *Alkota* unit.

Eden Path Lighting – #6434 – This is an account to coordinate with the neighbors and purchase a proportionate set of matching sidewalk lights to improve night travel for bikers and pedestrians. This is 100% funded by the Parking Fund.

Street Sweeper – #6436 - This is a vacuum sweeper, purchased new in 2018. It has a 5-year effective life before trading in due to its heavy use and was replaced in FY23. 100% funded through Parking and Cruise Ships.

Public Works Building / Solar Panels – #6438 – This is the reserve to potentially purchase the solar panels at a to-be-determined FMV price from *Revision Energy*.

School Parking Lot - #6440 – A placeholder reserve for monies transferred in from the Parking Fund to be allocated towards the future costs of paving, repaving, ground work, etc. related to possible use of the School lot being used for Town satellite parking during the summer season.

Tag Trailer – #6442 - flat trailer for 20 tons purchased in 2000 with an estimated 25-year life. We anticipate refurbishing or replacing the trailer in FY25.

Brine Mixing Equipment - #6444 – New Camion brine mixing equipment was purchased in FY24. This equipment has an estimated 10-year life.

Liquid Anti-Icer Tank – #6446 - This is a removable 1600-gal tank that was purchased in FY16. It rides in the back of a dump truck and is used in the summer (washing sidewalks) and winter (salt brine). We anticipate a 15-year service life.

Street Lights/LED Lease – #6448 – This primarily has funded a 3-year capital lease to pay for the conversion of all the Town’s streetlights (including parking lots, decorative lights, etc.) to LED’s. This is 100% funded by the Parking Fund monies. Additional funds are included to start a replacement reserve. And funds from this account are also used for upgrades to its crosswalk beacons, the school solar crosswalk light and the Rte#3 stop light. We anticipate upgrades are needed to meet current ADA standards for visually impaired residents.

Light Trucks – #6450 - There are six trucks of 1.5 tons or less available to the crew and the Public Works Director. One truck is scheduled for replacement in FY25.

Plow Trucks – #6452 - The Town owns five large dump trucks; 4 active trucks, plus one reserve truck. Experience has shown that, on average, they begin to become unreliable after about eight+ years of service, so we put one of the oldest trucks in reserve, while running four on the road. Typically, these trucks have been replaced on a fifteen-year cycle. One plow truck is scheduled for replacement in FY25.

FY25 BUDGET

Capital Improvement Program

Narrative Description

Bobcat Loader & Equipment – #6453 – Bought in FY17, the “Bobcat” fills the same function as a forklift, but with the proper attachments, will also sweep, load, dig, bore and serves as a back-up to the Town’s only sweeper.

Vibratory Roller/Compactor – #6454 – The roller was replaced in FY20; however, we also need to purchase a compactor to properly perform road and sidewalk improvements with in-house resources.

Power Screen – #6505 – A used Power Screen was purchased in FY23 for use in screening leaf pile and sand. This power screen is used to create compost from the leaf pile at Public Works as well as breaking up clumps of sand for winter. It also serves as a screen for screening materials used for in-house road and sidewalk construction.

Solid Waste Division – #79

Backhoe – #6402 – This is a shared backhoe between Solid Waste, Highway, Water and Wastewater. Purchased in FY23.

Heating System – #6455 – The existing waste oil furnace burns used motor vehicle oil as a source of heat and was transferred to the Solid Waste location. Replacement is anticipated in FY24.

Single Sort Units/Canopy – #6456 – 2 of these units are in place and were installed when the Transfer Station was rebuilt in FY18. A canopy over the two single sort compactors is being funded.

Transfer Station Renovations – #6458 – A reserve is established for any needed major repairs/replacements. The transfer station was rebuilt in 2018. The remaining bond monies from that rebuild are being transferred to the Forklift reserve #6472 and the Trailer reserve, #6460. This was previously in a Solar Panel reserve (#6468).

Three 48’ Trailers – #6460 – Three trailers were purchased from the bonded project in FY18. One used trailer was purchased in FY22. These trailers have an anticipated service life of 15 years. We are also looking to transfer \$40,157 from the Solar Panel reserve, #6468, to this line item. We anticipate adding a new trailer in FY26.

Compactor Unit – #6462 – This sole unit serves to compact MSW at the transfer station. It was purchased used when the new facility was built in FY18. This reserve includes funding the hopper. A replacement compactor or refurbishment of the existing unit is anticipated in FY26.

Skid Steer – #6464 – This 2018 unit is utilized at the facility.

High Pressure Washer - #6466 – Unit used for efficient cleaning of the facility and grounds. Replacement anticipated in FY24.

Solar Panels - #6468 – The Town previously allocated the last of its Transfer Station bond monies to this line item. These funds have been reallocated to fund the replacement of essential equipment (e.g., Forklift #6472, Compactor # 6462 and Trailers #6460).

Truck - #6470 – Reserve to replace a ¾ Tn pickup truck purchased in FY20. Replacement with a 1-ton

Capital Improvement Program

Narrative Description

with dump body and plow is anticipated for FY30.

Forklift – #6472 – The 2001 forklift is inoperable and was replaced in FY24 with a new forklift shared with Highway.

~ School Capital Projects ~

School Department – #94

Capital Outlay Reserve – #6604 - Any school CIP appropriations leftover at the end of a project are closed to this account. Similarly, projects that cost more than expected draw down from this account. These funds can also be used when an unexpected emergency arises.

Asbestos Removal – #6605 - We have maintained funding in this line item for the unexpected removal of asbestos during any renovation or repair.

Furniture and Equipment – #6606 - In order to replace school furnishings in an orderly fashion while keeping costs reasonable, we purchase furniture on a rotating basis and when needed. Due to the construction of the new school, we will only be purchasing new furniture when needed until we are able to determine what furniture will transfer to the new building.

Computers & Technology – #6608 - Ongoing implementation of AOS #91 technology program and infrastructure support for 7th and 8th grade MLTI program, as well as the cyclic replacement of older devices.

Copier Lease/Purchase – #6610 - This figure is for the copiers which are located in the offices and workrooms.

Pickup Truck Replacement – #6618 – In FY23 we purchased a new truck. We anticipate replacing this vehicle in 10 years.

Playground - #6620- Until the new school is built, we will be maintaining and repairing our existing playground equipment.

Roof Repair Reserve – #6624 - Money is being put aside which will cover any unanticipated large roof repairs.

Technology – #6628 – Until the new school is built, we will be maintaining and repairing our existing connections, switches, etc...

Phone System - #6632 - A new phone system was installed FY24 and will be transferable to the new building, but we may have additional costs associated with the installation such as upgrades and access.

Safety & Access Control – #6650 - This is a line in the CIP account to address any safety/security issues. Our current security pass system is almost 5 years old and we anticipated maintenance and replacement may be needed, especially in the access points more heavily used.

Building Concept Design Drawings - #6656 – Tracks all concept, landscape and design drawings for

Capital Improvement Program

Narrative Description

the new school build. This was part of the \$3M bond that was previously approved.

Tractor/Plow Reserve – #6662 - Our tractor is almost 20 years old and will need to be replaced in the next few years.

School Van - #6656 - A school van was purchased in FY24 and we anticipate a 10-year life for this van. We will put \$3000 into reserve each year to pay for a replacement vehicle in FY34.

FY25 Budget

* = Partial or Full Parking Funding				Capital Improvement Program				
** = Partial or Full Cruise Ship Funding				Year By Year Overview				
Account Number	Account Description	Est Year End FY24	Funding	Year One FY25		Year Two FY26		
		Balance		Spending	Balance	Funding	Spending	Balance
21	Technology Division							
6114	Copy Machines	5,624	5,571	0	11,195	5,571	4,000	12,766
6115	Fiber Engineering Project	426,143	10,000	10,000	426,143	0	34,200	391,943
6117	Virtual Desktp Softwr-PD-New	0	0	0	0	0	0	0
6119	Fire Prot Syst-Server Rm	15,529	1,733	0	17,262	1,733	0	18,995
6120	WAN & Broadcast & WiFi **2k	19,883	12,500	25,000	7,383	5,833	0	13,216
6124	3 VM Host Servers & Storage	5,307	20,000	25,000	307	20,000	20,000	307
6126	Website Imprvmnts	11,210	4,375	0	15,585	4,375	0	19,960
6128	Town Phone System	47,648	17,545	65,000	193	4,545	0	4,738
6231	Security Camera System	4,034	5,000	5,000	4,034	5,000	3,000	6,034
	<i>Total Technology</i>	535,378	76,724	130,000	482,102	47,057	61,200	467,959
24	Municipal Building							
6130	Building Renovations *5K **5k	52,869	30,000	5,000	77,869	30,000	6,000	101,869
6136	Energy Audit/Improvements	27,000	15,000	0	42,000	15,000	0	57,000
	<i>Total Muni. Bldg.</i>	79,869	45,000	5,000	119,869	45,000	6,000	158,869
30	Code Enforcement Division							
6150	Code Vehicle Reserve	14,218	3,200	0	17,418	3,200	0	20,618
	<i>Total Code</i>	14,218	3,200	0	17,418	3,200	0	20,618
32	Assessing Division							
6115	GIS Eqpmnt/Assessing Softwr	4,174	3,950	0	8,124	3,950	12,000	74
6116	Contract Revaluation Srv	52,368	0	0	52,368	20,000	0	72,368
6150	Assessing/TSA Vehicle Resrv	29,414	0	15,000	14,414	7,000	0	21,414
6160	Ortho Photos/Pictometry	7,907	2,400	0	10,307	2,400	11,800	907
	<i>Total Assessing</i>	93,863	6,350	15,000	85,213	33,350	23,800	94,763
34	Planning Department							
6162	Comprehensive Plan	6,625	0	6,625	0	0	0	0
6164	Lwr Main St Strtscp **\$30K	392,293	30,000	0	422,293	50,000	0	472,293
6166	Cottage St Strtscp **\$30K	386,726	30,000	0	416,726	50,000	0	466,726
6168	Town Hill Housing (share w/ANP)		50,000	50,000	0			0
6169	Comp Plan implementation*20K		50,000	50,000	0			0
6170	Capitalization of Housing Fund		0	0	0	0	0	0
	<i>Total Planning</i>	785,644	160,000	106,625	839,019	100,000	0	939,019
40	Ambulance Division							
6200	Ambulances (3) ** 23k *85K	144,542	108,000	30,000	222,542	108,000	0	330,542
6202	Defibrillators/Monitors	45,552	8,000	0	53,552	24,500	0	78,052
6204	Patient Simulator/Chest Compr.	9,140	2,588	0	11,728	2,588	6,000	8,316
	<i>Total Ambulance</i>	199,234	118,588	30,000	287,822	135,088	6,000	416,910
42	Fire Department							
6204	Turnout Gear (23 sets in FY26)	27,825	28,100	0	55,925	28,100	84,000	25
6206	Hose & Couplings	21,890	4,000	0	25,890	4,000	0	29,890
6212	Rescue Tools	14,596	10,513	25,000	109	2,513	0	2,622
6214	Fire Engine #1 Tanker *50K**10k	296,043	60,000		356,043	90,000	0	446,043
6218	Fire Engine #4 Ladder **10K *25K	178,920	40,000	0	218,920	40,000	0	258,920
6220	Fire Engine #5 Reserve ** \$15k*10K	85,325	25,000	0	110,325	25,000	0	135,325
6222	Portable Radios (20)	9,440	5,000	0	14,440	5,000		19,440
6224	Pickup Trucks (2) & Trailer	27,230	22,771	0	50,000	23,744	70,000	3,744
6226	Thermal Imaging Cameras (4)	6,478	2,400	0	8,878	2,400	10,000	1,278
6227	SCBAs & Cascade System	55,944	35,397	0	91,341	35,397	0	126,737
6228	Dry Hydrant	6,300	6,300		12,600	6,300		18,900
	<i>Total Fire</i>	729,991	239,480	25,000	944,471	262,453	164,000	1,042,924

Note: Amount shown in the "Year One Appropriation" column is established as a continuing appropriation. Figures shown for Year Two through Year Five are the amounts we expect to request in those future fiscal years.

Capital Improvement Program								
Year By Year Overview								
Year Three			Year Four			Year Five		
FY27			FY28			FY29		
Funding	Spending	Balance	Funding	Spending	Balance	Funding	Spending	Balance
5,571	0	18,337	5,571	0	23,908	5,571	0	29,479
0	34,200	357,743	0	34,200	323,543	0	34,200	289,343
0	0	0	0	0	0	0	0	0
1,733	0	20,728	1,733	0	22,461	1,733	0	24,194
5,833	0	19,049	12,500	0	31,549	5,833	0	37,382
25,000	25,000	307	20,000		20,307	20,000		40,307
4,375	0	24,335	4,375	0	28,710	4,375	0	33,085
7,545	0	12,283	17,545	0	29,828	4,545	0	34,373
5,000	0	11,034	5,000	0	16,034	5,000	0	21,034
55,057	59,200	463,816	66,724	34,200	496,340	47,057	34,200	509,197
30,000	8,000	123,869	30,000		153,869	33,679		187,548
15,000	0	72,000	15,000	0	87,000	15,000	0	102,000
45,000	8,000	195,869	45,000	0	240,869	48,679	0	289,548
3,200	0	23,818	3,200	0	27,018	3,200	0	30,218
3,200	0	23,818	3,200	0	27,018	3,200	0	30,218
4,000	0	4,074	4,000	0	8,074	4,000	0	12,074
20,000	0	92,368	20,000	0	112,368	20,000	0	132,368
5,000	0	26,414	5,000	0	31,414	5,000	0	36,414
2,400	0	3,307	2,400	0	5,707	2,400	0	8,107
31,400	0	126,163	31,400	0	157,563	31,400	0	188,963
0	0	0	0		0	0		0
50,000	0	522,293	50,000	0	572,293	50,000	0	622,293
50,000	0	516,726	50,000	0	566,726	50,000	0	616,726
0		0	0		0	0		0
100,000	0	1,039,019	100,000	0	1,139,019	100,000	0	1,239,019
108,000	0	438,542	108,000	0	546,542	108,000	0	654,542
30,000	108,000	52	24,500		24,552	30,000		54,552
2,588	0	10,904	2,588	0	13,492	2,588	0	16,080
140,588	108,000	449,498	135,088	0	584,586	140,588	0	725,174
28,100	0	28,125	28,100	0	56,225	28,100	0	84,325
4,000	0	33,890	4,000	0	37,890	4,000	0	41,890
2,513	0	5,135	2,513	0	7,648	10,513	0	18,161
90,000	0	536,043	90,000	0	626,043	90,000	0	716,043
40,000	0	298,920	40,000	0	338,920	40,000	0	378,920
25,000	0	160,325	25,000	0	185,325	25,000	0	210,325
5,000	0	24,440	5,000	0	29,440	5,000	0	34,440
23,744	0	27,487	22,771	0	50,258	23,744	0	74,001
2,400	0	3,678	2,400	0	6,078	2,400	0	8,478
35,397	0	162,134	35,397	0	197,531	35,397	157,000	75,927
6,300		25,200	6,300		31,500	6,300		37,800
262,453	0	1,305,377	261,480	0	1,566,858	270,453	157,000	1,680,311

FY25 Budget

* = Partial or Full Parking Funding				Capital Improvement Program				
** = Partial or Full Cruise Ship Funding				Year By Year Overview				
Account Number	Account Description	Est Year End FY24		Year One FY25		Year Two FY26		
		Balance	Funding	Spending	Balance	Funding	Spending	Balance
21	Police Department							
45	Police Department							
6228	Parking Meter Vehicle(s) *5k	51,062	5,000	35,000	21,063	9,000	0	30,063
6229	Parking Meters & Equipmt * 15k	0	15,000	0	15,000	15,000	0	30,000
6230	Cruiser Equipment	2,641	21,000	20,000	3,641	21,000	20,000	4,641
6231	Electronic Fingerprint Scanner	0	1,900	0	1,900	1,900	0	3,800
6235	Port Security Boat ** \$10k	97,768	10,870		108,638	10,870	0	119,508
6234	Cruiser Replacement ** \$18k	1	57,729	50,000	7,730	58,750	52,000	14,480
6236	Records Mgt. Software	6,928	1,500		8,428	1,500	0	9,928
6237	Portable Radios (20)	28,000	7,000	30,000	5,000	7,000	0	12,000
6238	Tasers (17)	50,644	10,000	12,240	48,404	10,000	12,240	46,164
6240	Firearms	20,578	3,680		24,258	3,680	10,800	17,138
6241	Speed Tr. & Traffic Sol Trailer	14,017	2,600	0	16,617	2,600		19,217
6243	Planning & PSafety Collaborations*\$25k	87,500	25,000	42,000	70,500	50,000		120,500
6244	MPERS 3C funding *\$60K		60,820	60,820	0	60,820	60,820	0
	<i>Total Police</i>	359,139	222,099	250,060	331,179	252,120	155,860	427,439
47	Dispatch							
6231	Voice Recorder System	2,881	3,200	0	6,081	3,200	0	9,281
6232	Radio Cmmnd Console	4,950	4,500	0	9,450	4,500	0	13,950
6235	Ireson Hill Radio Bldg. & Generator	14,997	6,000	20,000	997	6,000	0	6,997
6239	Radio Equipment *20k	32,346	20,000	25,000	27,346	20,000	25,000	22,346
	<i>Total P.S.Bldg.</i>	55,174	33,700	45,000	43,874	33,700	25,000	52,574
49	Public Safety Building							
6242	Generators -(2) School & PSB	46,639	3,892	0	50,531	3,892	0	54,423
6244	P.S. Bldg. Fire Renovations	46,697	28,103	35,000	39,800	48,566	40,000	48,366
6246	P.S. Bldg. PD Renovations **5k	10,000	5,000	0	15,000	5,000	0	20,000
6248	Workout Equipment - FD & PD	6,000	1,500	0	7,500	1,500	0	9,000
6250	P.S. Bldg Repair *125K	0	125,000	125,000	0			
	<i>Total P.S.Bldg.</i>	109,336	163,495	160,000	112,831	58,958	40,000	131,789
53	Harbor Department							
6250	Boat & Trailer- Lund	3,000	1,500	0	4,500	1,500	0	6,000
6252	Floats *24K	66,000	24,000	48,000	42,000	24,000	0	66,000
6254	Gangways	26,981	2,000	0	28,981	2,000	0	30,981
6256	Fishermen's Hoists (2)	23,543	8,353	0	31,896	8,353	35,000	5,249
6258	Ferry Terminal Lot *1k **5K	393,651	6,349	0	400,000	150,000	0	550,000
6260	Port Security Office *5k	32,382	10,000	0	42,382	10,000	0	52,382
6264	Breakwater Repairs	10,000	0	0	10,000	10,000	0	20,000
6266	Pier Renovations ** \$13k	32,429	13,000	0	45,429	13,000	0	58,429
6268	Boat Pump Out System	12,000	2,600	0	14,600	2,600	0	17,200
6269	Pickup Truck *12k	22,000	12,000	34,000	0	12,000	0	12,000
	<i>Total Harbor</i>	621,986	79,802	82,000	619,788	233,453	35,000	818,241

Note: Amount shown in the "Year One Appropriation" column is established as a continuing appropriation. Figures shown for Year Two through Year Five are the amounts we expect to request in those future fiscal years.

Capital Improvement Program								
Year By Year Overview								
Year Three			Year Four			Year Five		
FY27			FY28			FY29		
Funding	Spending	Balance	Funding	Spending	Balance	Funding	Spending	Balance
9,000	0	39,064	5,000	0	44,064	9,000	0	53,065
15,000	0	45,000	15,000		60,000	15,000		75,000
20,000	7,500	17,141	21,000		38,141	21,000		59,141
1,900	0	5,700	1,900		7,600	1,900		9,500
10,870	0	130,378	10,870		141,248	10,870		152,118
58,750	52,000	21,230	58,750		79,980	58,750		138,730
1,500	0	11,428	1,500		12,928	1,500		14,428
7,000	0	19,000	7,000		26,000	7,000		33,000
10,000	12,240	43,924	10,000		53,924	10,000		63,924
3,680	0	20,818	3,680	0	24,498	3,680	0	28,178
2,600	0	21,817	2,600	0	24,417	2,600	0	27,017
50,000		170,500	50,000		220,500	50,000		270,500
60,820	60,820	0	60,820	60,820	0	60,820	60,820	0
251,120	132,560	546,000	248,120	60,820	733,300	252,120	60,820	924,601
3,200		12,481	0		12,481	0		12,481
4,500		18,450	0		18,450	0		18,450
6,000	0	12,997	6,000	0	18,997	6,000	0	24,997
25,000	0	47,346	25,000	0	72,346	25,000	0	97,346
38,700	0	91,274	31,000	0	122,274	31,000	0	153,274
3,892	0	58,315	3,892	0	62,207	3,892	0	66,099
48,566	45,000	51,932	48,566		100,498	28,103		128,601
5,000	0	25,000	0	0	25,000	0	0	25,000
1,500	7,500	3,000	1,500	0	4,500	1,500	0	6,000
58,958	52,500	138,247	53,958	0	192,205	33,495	0	225,700
1,500	0	7,500	1,500	0	9,000	1,500	0	10,500
24,000	0	90,000	24,000	0	114,000	24,000	0	138,000
10,000	12,000	28,981	10,000		38,981	10,000		48,981
2,400	0	7,649	2,400	0	10,049	2,400	0	12,449
200,000	0	750,000	200,000	0	950,000	200,000	0	1,150,000
10,000	0	62,382	10,000	0	72,382	10,000	0	82,382
10,000	0	30,000	0	0	30,000	0	0	30,000
13,000	0	71,429	13,000	0	84,429	13,000	0	97,429
2,600	0	19,800	2,600	0	22,400	2,600	0	25,000
12,000	0	24,000	12,000	0	36,000	12,000	0	48,000
285,500	12,000	1,091,741	275,500	0	1,367,241	275,500	0	1,642,741

FY25 Budget

* = Partial or Full Parking Funding				Capital Improvement Program				
** = Partial or Full Cruise Ship Funding				Year By Year Overview				
Account		Est Year End		Year One			Year Two	
Number		FY24		FY25		FY26		
21	Account Description	Balance	Funding	Spending	Balance	Funding	Spending	Balance
59	Parks Section							
5448	Museum in the Streets ** \$2k	14,232	2,000	0	16,232	2,000	0	18,232
6300	Benches, BikeRks*\$k**\$k	26,946	10,000	5,000	31,946	10,000	0	41,946
6302	Grant Park Reserve ** \$5k	16,000	5,000	0	21,000	5,000	0	26,000
6304	Tree Planting and Pruning *\$15K	31,298	15,000	15,000	31,298	15,000	15,000	31,298
6306	Park Irrigation Systems	21,200	3,000	0	24,200	3,000	0	27,200
6308	Skatepark Maint. Reserve	30,755	4,516	0	35,271	4,516	0	39,787
6310	Mt. Desert St. Cemetery	23,328	0	0	23,328	0	0	23,328
6312	Playground Equipment *20K	54,800	20,000	20,000	54,800	20,000	20,000	54,800
6314	Launch Ramp @ Hadley Pt.	21,174	2,700	0	23,874	2,700	0	26,574
6316	Tennis & Basketball Crts *5K	15,586	5,000	0	20,586	5,000	0	25,586
6318	Village Green Bandstd **5K	63,735	5,000	0	68,735	5,000	0	73,735
6332	Glen Mary Renovations *27K	135,239	27,000	135,000	27,239	27,000	0	54,239
6334	Harborview Park ** \$5k	10,000	5,000	0	15,000	5,000	0	20,000
6336	Downtown Signage Res. **\$8k	52,517	10,000	0	62,517	12,000	15,000	59,517
6338	Park Fountains **\$30K	0	30,000	30,000	0	30,000	30,000	0
6340	Agamont Park, Pergola *\$25K	15,000	25,000	40,000	0	25,000		25,000
6342	Village Green Park **\$5K Water Fill	5,000	0	0	5,000	0	5,000	0
6344	Barker Park Security Enhancements	10,000	10,000		20,000	10,000		30,000
6346	Ballfield Parking Lot *\$155K	155,000	0		155,000	0	155,000	0
	<i>Total Parks</i>	701,810	179,216	245,000	636,026	181,216	240,000	577,242
70	Comfort Stations							
6350	Restroom Resv (4)	236,344	0	236,344	0	37,000	0	37,000
		0	0	0	0	0	0	0
	<i>Total Comfort Stations</i>	236,344	0	236,344	0	37,000	0	37,000
77	Highway Division							
6400	Air Compressor (1)/Welder (1)	6,581	402	0	6,983	402	0	7,385
6402	Backhoe (1)*50K	25,349	50,000	0	75,349	50,000	0	125,349
6404	Brush Chipper	13,527	2,600	0	16,127	2,600	0	18,727
6406	Bikeway/Ped. Imprvmts *\$10k	160,000	10,000	0	170,000	60,000	0	230,000
6408	Road Grader (used) *60k	220,694	60,000	0	280,694	60,000	0	340,694
6410	Parking Lot Acq.	95,000	0	0	95,000	50,000	0	145,000
6412	Hydraulic Truck Lifts (2)	18,628	2,955	0	21,583	2,955	24,000	538
6414	Front End Loader *20k	136,441	20,000	0	156,441	16,500	0	172,941
6416	Excavator (Bobcat)	80,065	9,167	0	89,232	9,167	0	98,399
6418	Snowblower *\$5K	30,800	5,000	0	35,800	5,000	0	40,800
6420	Road Improvements *\$1.5MM	1,396,233	1,500,000	2,000,000	896,233	1,500,000	1,500,000	896,233
6422	Fuel Pump System	8,650	5,250	0	13,900	5,250	0	19,150
6424	Sidewalk Plow *\$26k	59,254	26,000	0	85,254	26,000	0	111,254
6426	Sidewalk Constrt *\$150k **40k	135,117	189,883	300,000	25,000	300,000	300,000	25,000
6428	Heating and Hot Water System*82K	50,000	250,000	300,000	0	2,500	0	2,500
6430	Steam/Pressure Washer	12,529	500	0	13,029	500	0	13,529
6434	Eden Path Lighting	119,220	0	0	119,220	0	0	119,220
6436	Street Sweeper (Vacuum) *40k**\$10K	20,600	50,000	0	70,600	50,000	0	120,600
6438	Pub Wrks Complx/Solar	99,038	0	0	99,038	2,000	0	101,038
6440	School Satellite Park Lot *25k	175,000	25,000	0	200,000	50,000	0	250,000
6442	Tag Trailer	24,219	2,500	26,000	719	2,500	0	3,219
6444	Brine Mixing Equipment	0	2,200	0	2,200	2,200	0	4,400
6446	Liquid Anti-icer Tank	13,997	900	0	14,897	900	0	15,797
6448	Street Lts-LED-Cap Lease/maintenance	87,370	0	15,000	72,370	0	0	72,370
6450	Light Trucks (6 + PWD)*\$100K	87,926	100,000	100,000	87,926	100,000	100,000	87,926
6452	Plow Trucks (5) *100k	131,727	100,000	0	231,727	100,000	0	331,727
6453	Bobcat Loader & Eqpmnt	28,840	5,000	0	33,840	5,000	0	38,840
6454	Roller, Vibratory*\$15K	20,551	15,000	15,000	20,551	1,000	0	21,551
6472	Forklift shared with Solid Waste*70K		70,000	70,000				
6480	Solar Array	3,029,199	0	0	3,029,199	0		3,029,199
6505	CIP Bond Priority Projects	13,953,467						
6506	Powerscreen		11,000		11,000	11,000		22,000
	<i>Total Highway</i>	20,240,022	2,513,357	2,826,000	5,973,912	2,415,474	1,924,000	6,465,386

Note: Amount shown in the "Year One Appropriation" column is established as a continuing appropriation. Figures shown for Year Two through Year Five are the amounts we expect to request in those future fiscal years.

Capital Improvement Program								
Year By Year Overview								
Year Three			Year Four			Year Five		
FY27			FY28			FY29		
Funding	Spending	Balance	Funding	Spending	Balance	Funding	Spending	Balance
2,000	0	20,232	2,000	0	22,232	2,000	0	24,232
10,000	0	51,946	10,000	0	61,946	10,000	0	71,946
5,000	0	31,000	5,000	0	36,000	5,000	0	41,000
15,000	15,000	31,298	15,000	15,000	31,298	15,000	15,000	31,298
3,000	0	30,200	3,000	0	33,200	3,000	0	36,200
4,516	0	44,303	4,516	0	48,819	4,516	0	53,335
0	0	23,328	0	0	23,328	0	0	23,328
20,000	0	74,800	20,000	0	94,800	20,000	0	114,800
2,700	0	29,274	2,700	0	31,974	2,700	0	34,674
5,000	0	30,586	5,000	0	35,586	5,000	0	40,586
5,000	75,000	3,735	5,000	0	8,735	5,000	0	13,735
27,000	0	81,239	27,000	0	108,239	27,000	0	135,239
5,000	0	25,000	5,000	0	30,000	5,000	0	35,000
12,000	0	71,517	10,000	0	81,517	12,000	0	93,517
30,000	30,000	0	10,000	0	10,000	10,000	0	20,000
25,000		50,000	1,500		51,500	1,500		53,000
0		0	0		0	0		0
10,000	10,000	30,000	10,000		40,000	10,000		50,000
0		0	1,500		1,500	1,500		3,000
181,216	130,000	628,458	137,216	15,000	750,674	139,216	15,000	874,890
37,000	0	74,000	37,000	0	111,000	37,000	0	148,000
0	0	0	0	0	0	0	0	0
37,000	0	74,000	37,000	0	111,000	37,000	0	148,000
402	0	7,787	402	0	8,189	402	0	8,591
50,000	0	175,349	50,000	0	225,349	50,000	0	275,349
2,600	0	21,327	2,600	0	23,927	2,600	0	26,527
60,000	0	290,000	10,000	0	300,000	60,000	0	360,000
75,000	0	415,694	60,000	0	475,694	75,000	550,000	694
50,000	0	195,000	0	0	195,000	50,000	0	245,000
2,955	0	3,493	2,955	0	6,448	2,955	0	9,403
16,500	180,000	9,441	20,000		29,441	20,000		49,441
9,167	0	107,566	9,167	0	116,733	9,167	0	125,900
5,000	0	45,800	5,000	0	50,800	5,000	0	55,800
1,500,000	1,500,000	896,233	1,500,000	1,500,000	896,233	1,500,000	1,500,000	896,233
5,250	0	24,400	5,250	0	29,650	5,250	0	34,900
26,000	0	137,254	26,000	0	163,254	26,000	0	189,254
300,000	300,000	25,000	300,000	300,000	25,000	300,000	300,000	25,000
2,500	0	5,000	2,500	0	7,500	2,500	0	10,000
500	0	14,029	500	0	14,529	500	0	15,029
0	0	119,220	0	0	119,220	0	0	119,220
50,000	0	170,600	50,000	0	220,600	50,000	0	270,600
2,000	0	103,038	2,000	0	105,038	2,000	0	107,038
65,000	0	315,000	65,000	0	380,000	65,000	0	445,000
2,500	0	5,719	2,500	0	8,219	2,500	0	10,719
2,200	0	6,600	2,200	0	8,800	2,200	0	11,000
900	0	16,697	900	0	17,597	900	0	18,497
0		72,370	0		72,370	0		72,370
100,000	100,000	87,926	100,000	100,000	87,926	100,000	100,000	87,926
100,000	0	431,727	100,000	0	531,727	100,000	0	631,727
5,000	0	43,840	5,000	0	48,840	5,000	0	53,840
1,000	0	22,551	1,000	0	23,551	1,000	0	24,551
0	0	3,029,199	0	1	3,029,198	0	1	3,029,197
11,000		33,000	11,000		44,000	11,000		55,000
2,445,474	2,080,000	6,830,860	2,333,974	1,900,001	7,264,833	2,448,974	2,450,001	7,263,806

FY25 Budget

* = Partial or Full Parking Funding				Capital Improvement Program				
** = Partial or Full Cruise Ship Funding				Year By Year Overview				
Account Number	Account Description	Est Year End FY24		Year One FY25		Year Two FY26		
21		Balance	Funding	Spending	Balance	Funding	Spending	Balance
79	Solid Waste Division							
6402	Backhoe	2,950	2,950		5,900	2,950		8,850
6455	Heating System	54	1,757	0	1,811	1,757	0	3,568
6456	Recycling/Single Sort/Canopy	43,958	2,167	0	46,125	2,167	0	48,292
6458	Transfer Station Renovations	39,105	3,000	0	42,105	3,000	0	45,105
6460	(3) 48' Trailers *40K	64,358	40,000	0	104,358	46,000	150,000	358
6462	Compactor Unit w/Hopper*15K	12,870	15,000	0	27,870	73,000	100,000	870
6464	Skid Steer/Bobcat*4K	25,000	4,500	0	29,500	4,500	0	34,000
6466	Hi Pressure Washer	500	500	0	1,000	500	0	1,500
6468	Solar Panels	112,157	0	0	112,157	0	0	112,157
6470	Truck *20K	18,150	21,975	0	40,125	21,975	0	62,100
	<i>Total Solid Waste</i>	319,102	91,849	0	410,951	155,849	250,000	316,800
84	Town Debt Service							
6502	D- Agamont Pk.& Seawall-'05	0	40,800	40,800	0	0	0	0
6504	K- Muni.Bldg.Renov-'15	0	146,025	146,025	0	141,625	141,625	0
6506	J- Public Works Complex-'13	61,675	159,775	221,450	0	224,200	224,200	0
6508	K-Downtown Signs '15 ** \$23k	0	22,850	22,850	0	22,050	22,050	0
6510	F - Public Works- '10 ** \$31k	33,059	174,528	207,587	0	212,535	212,535	0
6512	L-Pub Safety Bldg Envelp '15	0	27,700	27,700	0	26,800	26,800	0
6514	Trnsfr Station,FTrck,Bldg Slab '17	0	232,100	232,100	0	224,100	224,100	0
6516	FerryTrm/PrkMeter Bond-'18 *50k	0	174,225	174,225	0	169,625	169,625	0
6518	FerryTerm/BayF Taxable'18 ** 25K	0	86,525	86,525	0	89,425	89,425	0
6520	Fiber Build	21,500	45,925	67,425	0	65,675	65,675	0
6522	Solar Array Higgins Pit	125,000	262,100	387,100	0	377,100	377,100	0
	StormWater Priority Infrastructure	227,000	466,275	693,275	0	675,525	675,525	0
		0	0	0	0	0	0	0
82	<i>Total Town Debt</i>	468,234	1,838,828	2,307,062	0	2,228,660	2,228,660	0
6190	Bond premium interest only pmt		768,175	0			0	0
	Town Totals	25,549,344	5,771,689	6,463,091	10,904,475	6,222,579	5,159,520	11,967,533
	Funds Available		5,771,689			6,222,579		

Note: Amount shown in the "Year One Appropriation" column is established as a continuing appropriation. Figures shown for Year Two through Year Five are the amounts we expect to request in those future fiscal years.

Capital Improvement Program								
Year By Year Overview								
Year Three			Year Four			Year Five		
FY27			FY28			FY29		
Funding	Spending	Balance	Funding	Spending	Balance	Funding	Spending	Balance
2,950		11,800	2,950		14,750	2,950		17,700
1,757	0	5,325	1,757	0	7,082	1,757	0	8,839
2,167	0	50,459	2,167	0	52,626	2,167	0	54,793
3,000	0	48,105	3,000	0	51,105	3,000	0	54,105
40,000	0	40,358	40,000	0	80,358	40,000	0	120,358
15,000	0	15,870	15,000	0	30,870	15,000	0	45,870
4,500	0	38,500	4,500	0	43,000	4,500	0	47,500
500	0	2,000	500	0	2,500	500	0	3,000
0	0	112,157	0	0	112,157	0	0	112,157
21,975	0	84,075	21,975	0	106,050	21,975	0	128,025
91,849	0	408,649	91,849	0	500,498	91,849	0	592,347
0	0	0	0	0	0	0	0	0
138,050	138,050	0	135,163	135,163	0	132,000	132,000	0
221,575	221,575	0	218,700	218,700	0	225,325	225,325	0
21,400	21,400	0	20,875	20,875	0	20,300	20,300	0
191,023	191,023	0	183,064	183,064	0	175,105	175,105	0
25,800	25,800	0	25,050	25,050	0	24,500	24,500	0
216,100	216,100	0	208,100	208,100	0	201,700	201,700	0
163,875	163,875	0	158,125	158,125	0	152,375	152,375	0
87,225	87,225	0	89,925	89,925	0	87,525	87,525	0
63,925	63,925	0	62,175	62,175	0	60,425	60,425	0
367,100	367,100	0	357,100	357,100	0	342,225	342,225	0
657,775	657,775	0	640,025	640,025	0	622,275	622,275	0
0	0	0	0	0	0	0	0	0
2,153,848	2,153,848	0	2,098,302	2,098,302	0	2,043,755	2,043,755	0
0	0	0	0	0	0	20,000	0	20,000
6,181,364	4,736,108	13,412,789	5,949,812	4,108,323	15,254,278	6,014,287	4,760,776	16,507,788
6,181,364			5,949,812			6,014,287		

FY25 Budget

* = Partial or Full Parking Funding				Capital Improvement Program				
** = Partial or Full Cruise Ship Funding				Year By Year Overview				
Account Number	Account Description	Est Year End FY24		Year One FY25		Year Two FY26		
		Balance	Funding	Spending	Balance	Funding	Spending	Balance
21	SCHOOL C.I.P							
94	SCHOOL C.I.P							
6602	ADA Act Renovations	0	0	0	0	0	0	0
6604	Capital Outlay Reserve	37,222	0	0	37,222	10,000	0	47,222
6605	Asbestos Removal	15,410	0	0	15,410	0	0	15,410
6606	Furniture & Equipment	1,212	5,000	5,000	1,212	7,500	5,500	3,212
6608	Computers & Technology	29,422	10,000	29,000	10,422	60,000	59,000	11,422
6610	Copier Lease/Purchase	539	13,890	13,890	539	13,890	13,890	539
6611	Conners Hallway Floor	0	0	0	0	0	0	0
6612	Floor Covering Replacement	0	0	0	0	0	0	0
6614	Repaving P/Lot	0	0	0	0	5,000	0	5,000
6618	Pickup Truck Replacement	18,882	0	0	18,882	6,000	0	24,882
6620	Playground	5,000	0	5,000	0	10,000	0	10,000
6624	Roof Repair Reserve	46,300	0	20,000	26,300	75,000	10,000	91,300
6626	Storage Units	0	0	0	0	0	0	0
6628	Technology Infrastructure	78,452	0	10,000	68,452	12,500	10,000	70,952
6630	Kitchen Equipment	0	0	0	0	0	0	0
6632	Phone System	5,500	0	0	5,500	0	0	5,500
6648	Conners Water Main Replcmnt	0	0	0	0	0	0	0
6650	Safety & Access Control	17,740	0	4,000	13,740	10,000	10,000	13,740
6652	Building Maintenance	385,718	0	100,000	285,718	0	0	285,718
6656	School Van	8,000	0	0	8,000	0	0	8,000
6660	Boiler Replacement Reserve	0	0	0	0	0	0	0
6662	Tractor/Plow Reserve	35,000	0	0	35,000	5,000	0	40,000
6664	Security Panel	0	0	0	0	0	0	0
6670	Gym Floor Repairs	0	0	0	0	0	0	0
6656	Architectural Design	1,202,026	0	1,000,000	202,026	0	202,026	0
	<i>Total School Projects</i>	1,886,423	28,890	1,186,890	728,423	214,890	310,416	632,897
	Funds Available		28,890			214,890		
	Surplus (Shortfall)		0			0		
94	School Debt Service							
6702	New School Build		1,951,500	1,951,500		3,747,151	3,747,151	
6704	School Design/Renovatns-21	86,000	177,925	263,925	0	257,175	257,175	0
6706	Bond Issue M: 2004 Heat	0	62,211	62,211	0	0	0	0
	<i>Total School Debt</i>	86,000	2,191,636	2,277,636	0	4,004,326	4,004,326	0
	Bond premium interest only pmt		128,925					
	School Totals	1,972,423	2,220,526	3,464,526	728,423	4,219,216	4,314,742	632,897
	C.I.P. Fund Grand Totals	27,521,767	7,992,215	9,927,617	11,632,898	10,441,795	9,474,262	12,600,430
	Funds Available (from Rev's)		7,992,215			5,433,735		
	Surplus (Shortfall)		0					

Note: Amount shown in the "Year One Appropriation" column is established as a continuing appropriation. Figures shown for Year Two through Year Five are the amounts we expect to request in those future fiscal years.

Capital Improvement Program								
Year By Year Overview								
Year Three			Year Four			Year Five		
FY27			FY28			FY29		
Funding	Spending	Balance	Funding	Spending	Balance	Funding	Spending	Balance
0	0	0	0	0	0	0	0	0
9,928	0	57,150	9,928	0	67,078	9,928	0	77,006
0	0	15,410	0	0	15,410	0	0	15,410
7,500	7,500	3,212	7,500	7,500	3,212	7,500	7,500	3,212
60,000	62,000	9,422	60,000	62,000	7,422	60,000	62,000	5,422
13,890	13,890	539	13,890	13,890	539	13,890	13,890	539
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
5,000	0	10,000	5,000	0	15,000	5,000	0	20,000
6,000	0	30,882	6,000	0	36,882	6,000	0	42,882
10,000	0	20,000	10,000	0	30,000	10,000	0	40,000
75,000	10,000	156,300	75,000	10,000	221,300	75,000	10,000	286,300
0	0	0	0	0	0	0	0	0
20,000	10,000	80,952	20,000	10,000	90,952	20,000	10,000	100,952
0	0	0	0	0	0	0	0	0
0	0	5,500	0	0	5,500	0	0	5,500
0	0	0	0	0	0	0	0	0
10,000	10,000	13,740	10,000	10,000	13,740	10,000	10,000	13,740
0	0	285,718	0	0	285,718	0	0	285,718
0	0	8,000	0	0	8,000	0	0	8,000
0	0	0	0	0	0	0	0	0
5,000	0	45,000	5,000	0	50,000	5,000	0	55,000
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0
222,318	113,390	741,825	222,318	113,390	850,753	222,318	113,390	959,681
222,318			222,318			222,318		
0			0			0		
3,747,151	3,747,151		3,747,151	3,747,151		3,747,151	3,747,151	
250,425	250,425	0	243,675	243,675	0	236,925	236,925	0
0	0	0	0	0	0	0	0	0
3,997,576	3,997,576	0	3,990,826	3,990,826	0	3,984,076	3,984,076	0
4,219,894	4,110,966	741,825	4,213,144	4,104,216	850,753	4,206,394	4,097,466	959,681
10,401,258	8,847,074	14,154,614	10,162,956	8,212,539	16,105,031	10,220,681	8,858,242	17,467,469
5,527,014			5,433,815			0		

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**THE WARRANT
ANNUAL TOWN MEETING – JUNE 4 & 11, 2024
TOWN OF BAR HARBOR**

STATE OF MAINE

County of Hancock, ss

To: A Constable of the Town of Bar Harbor

Greeting:

In the name of the State of Maine you are hereby required to notify and warn the voters of the Town of Bar Harbor, in said County, qualified by law to vote in Town affairs to meet in the **Connors Emerson School Gymnasium** in said Town on Tuesday the fourth day of June, 2024 at six o'clock in the afternoon, then and there to act on *Articles A through X*;

And to notify and warn said voters to meet in the **Municipal Building, Third Floor Auditorium** in said Town on Tuesday, the eleventh day of June, 2024 at eight o'clock in the forenoon until eight o'clock in the afternoon, then and there to act on *Articles One through Five* of said articles being set out below to wit:

**Action on Articles A through Y will be on
Tuesday, June 4, 2024 starting at 6:00 p.m.
Connors Emerson School Gymnasium**

~ **Voter Check-in Required** ~

For "Open Town Meeting," June 4th, all Voters must check in to obtain a voter card prior to the start of Town Meeting. Voters are encouraged to arrive at least 45 minutes before the start of the meeting.

Article A ELECTION OF MODERATOR - To choose a Moderator to preside at said meeting.

Note: Articles B through L authorize expenditures in cost center categories.

Article B EDUCATION BUDGET EXPENDITURES: Regular Instruction - To see what sum the School Committee is authorized to expend for **Regular Instruction** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School Committee</i>	<i>Town Council</i>	<i>Warrant Committee</i>
Recommendations:	\$3,685,388	\$3,685,388	\$3,685,388

The five-member School Committee recommends adoption by a vote of 5 to 0.

The seven-member Town Council recommends adoption by a vote of 7 to 0.

The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.

Article C EDUCATION BUDGET EXPENDITURES: Special Education - To see what sum the School Committee is authorized to expend for **Special Education** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$1,992,792	\$1,992,792	\$1,992,792

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article D EDUCATION BUDGET EXPENDITURES: Career and Technical Education – To see what sum the School Committee is authorized to expend for **Career and Technical Education** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$ 0	\$ 0	\$ 0

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article E EDUCATION BUDGET EXPENDITURES: Other Instruction - To see what sum the School Committee is authorized to expend for **Other Instruction** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$140,021	\$140,021	\$140,021

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article F EDUCATION BUDGET EXPENDITURES: Student & Staff Support - To see what sum the School Committee is authorized to expend for **Student & Staff Support** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$ 924,619	\$924,619	\$924,619

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article G EDUCATION BUDGET EXPENDITURES: System Administration - To see what sum the School Committee is authorized to expend for **System Administration** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$230,853	\$230,853	\$230,853

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article H EDUCATION BUDGET EXPENDITURES: School Administration - To see what sum the School Committee is authorized to expend for **School Administration** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$454,292	\$454,292	\$454,292

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article I EDUCATION BUDGET EXPENDITURES: Transportation & Buses - To see what sum the School Committee is authorized to expend for **Transportation & Buses** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$409,000	\$409,000	\$409,000

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article J EDUCATION BUDGET EXPENDITURES: Facilities Maintenance - To see what sum the School Committee is authorized to expend for **Facilities Maintenance** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$878,572	\$878,572	\$878,572

*The five-member School Committee recommends adoption by a vote of 5 to 0.
 The seven-member Town Council recommends adoption by a vote of 7 to 0.
 The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article K EDUCATION BUDGET EXPENDITURES: Debt Service and Other

Commitments - To see what sum the School Committee is authorized to expend for **Debt Service and Other Commitments** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$ 0	\$ 0	\$ 0

*The five-member School Committee recommends adoption by a vote of 5 to 0.
 The seven-member Town Council recommends adoption by a vote of 7 to 0.
 The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article L EDUCATION BUDGET EXPENDITURES: All Other Expenditures - To see

what sum the School Committee is authorized to expend for **All Other Expenditures** for the fiscal year beginning July 1, 2024 and ending June 30, 2025.

	<i>School</i>	<i>Town</i>	<i>Warrant</i>
Recommendations:	<i>Committee</i>	<i>Council</i>	<i>Committee</i>
	\$90,000	\$90,000	\$90,000

*The five-member School Committee recommends adoption by a vote of 5 to 0.
 The seven-member Town Council recommends adoption by a vote of 7 to 0.
 The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Note: Articles B – L authorize a total budget of:

<i>School</i>	<i>Town</i>	<i>Warrant</i>
<i>Committee</i>	<i>Council</i>	<i>Committee</i>
\$8,805,537	\$8,805,537	\$8,805,537

Note: Articles M & N raise funds for the Proposed School Budget

Article M EDUCATION BUDGET: Essential Programs and Services – To see what sum

the voters of the Town of Bar Harbor will appropriate for the total cost of funding public education from kindergarten to grade 12 as described in the Essential Programs and Services Funding Act (State Recommends \$4,872,666) and to see

what sum the voters of the Town of Bar Harbor will raise as the Town’s contribution to the total cost of funding public education from kindergarten to grade 12 as described in the Essential Programs and Services Funding Act in accordance with the Maine Revised Statutes, Title 20-A, section 15688 for the period July 1, 2024 to June 30, 2025.

Explanation: *The Town of Bar Harbor’s contribution to the total cost of funding public education from kindergarten to grade 12 as described in the Essential Programs and Services Funding Act is the amount of money determined by state law to be the minimum amount that a municipality must raise in order to receive the full amount of state dollars.*

	<i>School Committee</i>	<i>Town Council</i>	<i>Warrant Committee</i>
Recommendations:			
<i>State Subsidy</i>	<i>\$ 739,925</i>	<i>\$ 739,925</i>	<i>\$739,925</i>
<i>Town’s Minimum Share</i>	<i>\$ 4,132,741</i>	<i>\$4,132,741</i>	<i>\$4,132,741</i>
<i>State’s Essential Programs & Services Model</i>	<i>\$4,872,666</i>	<i>\$4,872,666</i>	<i>\$4,872,666</i>

*The five-member School Committee recommends adoption by a vote of 5 to 0.
The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Note: *Article N raises additional local funds recommended to support the proposed school budget*

Article N EDUCATION BUDGET: Additional Local Funds - To see what sum the voters of the Town of Bar Harbor will raise and appropriate in additional local funds for school purposes for the period July 1, 2024 to June 30, 2025, which exceeds the State’s Essential Programs and Services allocation model by as required to fund the budget recommended by the school committee.

Explanation:
The additional local funds are those locally raised funds over and above the Town of Bar Harbor’s local contribution to the total cost of funding public education from kindergarten to grade 12 as described in the Essential Programs and Services Funding Act and local amounts raised for the annual payment on non-state funded debt service that will help achieve the Town of Bar Harbor’s budget for educational programs. The School Committee recommends the additional local funds shown below and gives the following reasons for exceeding the State’s Essential Programs and Services funding model. The State funding model underestimates the actual costs to fully fund the proposed budget.

	<i>School Committee</i>	<i>Town Council</i>	<i>Warrant Committee</i>
Recommendations:			

<i>Additional Local Funds</i>	\$ 3,472,733	\$3,472,733	\$3,472,733
<i>Exceeding EPS by</i>	\$ 3,472,733	\$3,472,733	\$3,472,733

*The five-member School Committee recommends adoption by a vote of 5 to 0.
 The seven-member Town Council recommends adoption by a vote of 7 to 0.
 The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Note: Articles M & N raise a total town appropriation of:

<i>School Committee</i>	<i>Town Council</i>	<i>Warrant Committee</i>
\$7,605,474	\$7,605,474	\$7,605,474

Note: Article O summarizes the proposed school budget and does not authorize any additional expenditures

Article O EDUCATION BUDGET: Total Expenditures- To see what sum the voters of the Town of Bar Harbor will authorize the School Committee to expend for the fiscal year beginning July 1, 2024 and ending June 30, 2025 from the Town’s contribution to the total cost of funding public education from kindergarten to grade 12 as described in the Essential Programs and Services Funding Act, non-state-funded school construction projects, additional local funds for school purposes under the Maine Revised Statutes, Title 20-A, section 15690, unexpended balances, tuition receipts, state subsidy and other receipts for the support of schools.

	<i>School Committee</i>	<i>Town Council</i>	<i>Warrant Committee</i>
Recommendations:	\$8,805,537	\$8,805,537	\$8,805,537

*The five-member School Committee recommends adoption by a vote of 5 to 0.
 The seven-member Town Council recommends adoption by a vote of 7 to 0.
 The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article P EDUCATION BUDGET: State, Federal, and Other Funds - In addition to the amount in Articles B – O, shall the School Committee be authorized to expend such other sums as may be received from state or federal grants or programs or other sources during the fiscal year 2024-2025 for school purposes provided that such grants, programs or other sources do not require the expenditure of other funds not previously appropriated?

Recommendations:
*The five-member School Committee recommends adoption by a vote of 5 to 0.
 The seven-member Town Council recommends adoption by a vote of 7 to 0.
 The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Note: Current Year Totals: \$416,615

Article Q MUNICIPAL BUDGET: FY23 Overdraft – To see if the Town will approve an overdraft of the FY23 Budget in the amount of \$383,990, and ratify the action of the Town Council to satisfy expenditures leading to said overdraft via a net draw of \$198,752 from the Unassigned Fund Balance.

***Explanation:** The annual municipal audit was conducted between October 2023 and March 2024. Upon completion, the statement of Appropriations, Expenditures and Encumbrances reflected a net overdraft, meaning that actual expenditures exceeded the total appropriated by the Town Meeting. In accordance with its Fund Balance Policy, the Town Council authorized use of Unassigned Fund Balance to satisfy these higher-than-budgeted expenditures. It is best practice to ask the Town Meeting, as the body with the responsibility to approve the budget, to approve the overdraft and ratify the use of fund balance to pay the bills.*

Recommendations:

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 11 to 0.*

Article R MUNICIPAL BUDGET: Expenditures - To see what sum the Town will raise and appropriate for the Municipal Budget for FY25 (7/1/24 TO 6/30/25).

Explanation:

This is the total amount that the Town Council is allowed to spend from all sources except grants and donations, as provided in Article VI, and from reserve accounts.

Recommendations:	<i>Town Council</i>	<i>Warrant Committee</i>
<i>Total Expenditures</i>	\$27,268,529	\$27,272,143

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 10 to 1.*

Article S MUNICIPAL BUDGET: Other Revenues - To see what sum the Town will vote to reduce the amount to be raised by taxation by using estimated revenues and fund balance for the Municipal Budget for FY25 (7/1/24 TO 6/30/25).

Explanation:

In addition to property taxes, the Town receives other revenues from fees, licenses, excise taxes, etc., and we sometimes use monies left over from prior years (fund balance). The funds shown in this article reduce the amount of property taxes that have to be raised.

Recommendations:	<i>Town Council</i>	<i>Warrant Committee</i>
<i>Other Revenues</i>	\$13,646,208	\$13,646,208
<i>Fund Balance – Cruise Ship</i>	\$412,242	\$412,242
<i>Fund Balance – Parking Fund</i>	\$457,428	\$457,428

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 11 to 0.*

Article T MUNICIPAL BUDGET: Tax Cap Override – To see if the Town will vote to increase the property tax levy limit of \$9,983,396 established for the Town of Bar Harbor by State law in the event that the FY25 Municipal Budget approved by the Town results in a tax commitment that is greater than the property tax levy limit.

Explanation:

In 2005 the State Legislature passed a “tax reform” law known as LD#1. This bill created a maximum municipal tax levy based upon this year’s tax, plus an allowance for personal income growth and the town’s tax base growth due to new construction. However, LD#1 allows Bar Harbor voters to increase that tax cap with the approval of a simple majority of the voters at Town Meeting. The only requirement is that a secret vote must be taken by written ballot. Using the State’s formula, the maximum tax levy for Bar Harbor’s Municipal Budget is \$9,983,396. As detailed in your copy of the annual Town Report, currently the Council’s proposed budget is \$2,769,258 over the tax cap.

Recommendations:

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article U MUNICIPAL BUDGET: Grants and Donations – In addition to the amount in Article R, shall the voters appropriate and authorize the Town Council to expend additional state, federal and other funds received during FY25 (7/1/24 TO 6/30/25) for municipal purposes, provided that such additional funds do not require the expenditure of local funds not previously appropriated?

Explanation:

From time to time, the Town Council receives funds from state and federal grants, and donations, as well as sources other than local tax dollars. This article gives the Town Council the authority to spend such funds, as long as no local property tax dollars are required to match them, other than those already in the budget.

Recommendations:

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article V PREPAYMENT OF TAXES – To see if the Town will vote to accept tax payments prior to the commitment date and to pay interest on said tax payments in the amount of 0% per year figured on a monthly basis until the tax commitment date is reached.

Explanation:

On rare occasions, taxpayers need to pay their taxes before they have been billed. The Town Treasurer cannot accept such early payment unless an article is passed.

Recommendations:

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article W TAX DUE DATE AND INTEREST RATE – To see if the Town will vote that the first half taxes shall be due and payable on or before September 30, 2024 and that the second half taxes shall be due and payable on or before March 31, 2025 and that interest shall be charged at the annual rate of 8.5% on any unpaid taxes due on September 30, 2024 beginning October 1, 2024 and on any unpaid taxes due March 31, 2025 beginning April 1, 2025.

Explanation: *The due dates proposed are the last business day in September 2024 and March 2025. The proposed interest rate is the highest allowed by State Law to encourage taxes to be paid on time.*

Recommendations:

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Article X OVERPAYMENT OF TAXES - To see if the Town will vote to establish the interest rate to be paid to a taxpayer who is determined to have paid an amount of real estate taxes in excess of the amount finally assessed for 2024 at 4.5% per year on the amount of overpayment.

Explanation:

If a taxpayer prevails in a tax assessment appeal against the Town, we must pay interest on the tax amount being refunded. The Town is required by law to set the interest amount each year. We are suggesting the lowest interest rate allowed by law, which is 4% less than what we charge for late payments.

Recommendations:

*The seven-member Town Council recommends adoption by a vote of 7 to 0.
The 22-member Warrant Committee recommends adoption by a vote of 14 to 0.*

Election of Town Officers and Ballot Articles
Action on the following articles will be at the Town Election with
Polls Open Tuesday, June 11, 2024 from 8:00 a.m. to 8:00 p.m.
Municipal Building Auditorium

Article 1 - ELECTION OF OFFICERS - To elect Town Officers as are required to be elected by secret ballot.

Article 2 – LAND USE ORDINANCE AMENDMENT – Employee living quarters-1 & Employee living quarters-2 – Shall an ordinance, dated December 6, 2023, and entitled “An amendment to allow employee living quarters-1 and employee living quarters-2 in certain zoning districts” be enacted?

SUMMARY

This amendment would rename the existing employee living quarters use, allowed in 14 districts, to “employee living quarters-1.” Employee living quarters-1 would be allowed in 11 zoning districts. The amendment would also create a new use called “employee living quarters-2,” which would be allowed in 13 zoning districts. Employee living quarters-2 would be subject to Bar Harbor’s general review standards in addition to certain design standards and density bonuses (lot coverage bonus). The definition of family would also be changed.

EXPLANATION

This amendment would include the following changes:

- *Rename the “employee living quarters” use to “employee living quarters-1,” and change the definition to say accessory “use” instead of accessory “structure.”*
- *Create a new use called “employee living quarters-2.”*
- *The maximum total occupancy of all employee living quarters-2 on a lot shall be 14 employees.*
- *Employee living quarters-1 would be subject to the existing building footprint area requirement which limits the size of the employee living quarters-1 to 25% of the building footprint area of the principal commercial building(s).*
- *Allow employee living quarters-1 in 11 zoning districts: Bar Harbor Gateway, Mount Desert Street Corridor District, Village Residential, Downtown Village I, Downtown Village II, Ireson Hill Corridor, Town Hill Business, Shoreland General Development I, Shoreland General Development II (Hulls Cove), Shoreland General Development III, and Shoreland Maritime Activities.*
- *Allow employee living quarters-2 in 13 zoning districts: Emery District, Hulls Cove*

Business, Hulls Cove Residential Corridor, Hulls Cove Rural, Indian Point Rural, Ireson Hill Corridor, McFarland Hill Rural, Salisbury Cove Corridor, Salisbury Cove Rural, Salisbury Cove Village, Town Hill Residential Corridor, Town Hill Residential, and Town Hill Rural.

- *In five zoning districts (Bar Harbor Gateway, Mount Desert Street Corridor, Village Residential, Ireson Hill Corridor, Town Hill Business), employee living quarters-1 would be allowed a density bonus (lot coverage bonus).*
- *In seven zoning districts (Hulls Cove Business, Ireson Hill Corridor, Salisbury Cove Village, Salisbury Cove Corridor, Town Hill Residential Corridor, Hulls Cove Residential Corridor, Town Hill Residential) employee living quarters-2 would be allowed a density bonus (lot coverage bonus).*
- *Employee living quarters-1 and employee living quarters-2 would be required to provide a minimum amount of parking at a rate of 0.5 parking space per occupant in the Emery District, Hulls Cove Residential Corridor, Hulls Cove Rural, Indian Point Rural, McFarland Hill Rural, Salisbury Cove Corridor, Salisbury Cove Rural, Salisbury Cove Village, Town Hill Business, Town Hill Residential Corridor, Town Hill Residential, and Town Hill Rural districts.*
- *No parking would be required for employee living quarters-1 and employee living quarters-2 in the Bar Harbor Gateway, Mount Desert Street Corridor District, Village Residential, Downtown Village I, Downtown Village II, Hulls Cove Business, Ireson Hill Corridor, Shoreland General Development I, Shoreland General Development II (Hulls Cove), Shoreland General Development III, and Shoreland Maritime Activities districts.*
- *Require some visual compatibility standards for employee living quarters-1 and employee living quarters-2.*
- *Amend the definition of family to replace “employee living quarters” with the two uses definitions: employee living quarters-1 and employee living quarters-2.*

An amendment to Articles III and V

The Town of Bar Harbor hereby ordains that Chapter 125 of the Town Code is amended as follows:

[Please Note: Old language is ~~stricken~~. New language is underlined.]

Chapter 125 , LAND USE ORDINANCE

Article III. Land Use Activities and Standards

§ 125-17 Bar Harbor Gateway.

D. Uses allowed by site plan.

- (1) The following uses shall be permitted by site plan review in any part of this district: bank; bed-and-breakfast I; bed-and-breakfast II; bed-and-breakfast III; bed-and-breakfast IV; bed-and-breakfast V; child-care center; commercial boat yard; commercial fish pier; employee living quarters-1; ferry terminal; farmers' market; hotel; marina; multifamily dwelling II; motel; nursing or convalescent homes or congregate housing; parking lot; parking deck; parking garage, also subject to Design Review Board certificate of appropriateness; private compulsory school; professional office building; restaurant; retail; road construction; services; shared accommodations

(SA-2 and SA-3); take-out restaurant; wind turbines, and wireless communication facilities.

§ 125-19 **Mount Desert Street Corridor District.**

D. Uses allowed by site plan.

- (2) Principal uses allowed by major site plan: convalescent home; employee living quarters1; multifamily dwelling II; shared accommodations (SA-2 and SA-3); theaters.

§ 125-20 **Village Residential.**

D. Uses allowed by site plan.

- (2) Uses allowed by conditional use permit:

- (b) Employee living quarters1.

G. Other requirements.

- (1) Accessory structures shall be located in the side and rear yard of the property. Employee living quarters1 are exempt from this requirement.

§ 125-21 **Downtown Village I.**

C. Allowed uses:

- (2) Uses allowed by site plan review: employee living quarters1; hotel; motel; conference centers; multifamily dwelling II; all types of child-care facilities, all types of schools; medical and dental clinics; banks; automobile service stations; hospitals; parking lot; parking deck; road construction; automobile sales lot; automobile repair garage; retirement community; shared accommodations (SA-2 and SA-3).

§ 125-21.1 **Downtown Village II.**

C. Allowed uses.

- (2) Uses allowed by site plan review: employee living quarters1; hotel, motel; multifamily dwelling II; parking lot; parking deck; all types of child-care facilities; all types of schools; hospitals, medical and dental clinics; automobile service stations; redemption centers; automobile sales lot; automobile repair garage; retirement community; shared accommodations (SA-2 and SA-3); veterinary clinic.

§ 125-23 **Emery District.**

D. Activity or structure requires site plan approval. Activity or structure requires approval

through site plan review process before it may be commenced or built:

- Agriculture, commercial
- Commercial boatyard
- Commercial stable
- Employee living quarters-2
- Kennel, boarding
- Municipal school
- Noncommercial kennel
- Noncommercial stable
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Wireless communications facility

§ 125-24 **Hulls Cove Business.**

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Bank
- Commercial boatyard
- Commercial fish pier
- Commercial stable
- Employee living quarters-2
- Ferry terminal
- Hospital
- Light manufacturing/assembly plant
- Marina
- Multifamily dwelling II
- Municipal school
- Parking lot
- Recreational boating facility
- Research facility
- Research production facility
- Road construction
- Shared accommodations (SA-2)
- Shared accommodations (SA-3)
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Transient accommodations (TA-2)
- Wireless communications facility

§ 125-26 **Hulls Cove Residential Corridor.**

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Campground

- Cemetery
- Employee living quarters-2
- Multifamily dwelling II
- Place of worship
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Wireless communications facility

§ 125-27 **Hulls Cove Rural.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:
- Agriculture, commercial
 - Campground
 - Cemetery
 - Employee living quarters-2
 - Mineral extraction
 - Mineral extraction and processing
 - Mobile home park
 - Municipal school
 - Place of worship
 - Retirement community
 - Road construction
 - Solar photovoltaic system, principal use (SPVS-PU)
 - Transient accommodations (TA-1)
 - Wireless communications facility

§ 125-29 **Indian Point Rural.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:
- Agriculture, commercial
 - Cemetery
 - Employee living quarters-2
 - Road construction
 - Solar photovoltaic system, principal use (SPVS-PU)
 - Wireless communications facility

§ 125-31 **Ireson Hill Corridor.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Bank
- Campground
- Employee living quarters-1
- Employee living quarters-2
- Mineral extraction
- Mineral extraction and processing
- Multifamily dwelling II
- Municipal school
- Parking lot
- Place of worship
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Transient accommodations (TA-2)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Transient accommodations (TA-5)
- Transient accommodations (TA-6)
- Transient accommodations (TA-7)
- Transient accommodations (TA-8)
- Warehousing or storage facility
- Wholesale business establishment
- Wireless communications facility

§ 125-34 **McFarland Hill Rural.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:
 - Agriculture, commercial
 - Cemetery
 - Commercial stable
 - Employee living quarters-2
 - Eleemosynary, educational or scientific institution
 - Municipal school
 - Place of worship
 - Road construction
 - Solar photovoltaic system, principal use (SPVS-PU)
 - Veterinary clinic
 - Wireless communications facility

§ 125-37 **Salisbury Cove Corridor.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:
 - Cemetery
 - Employee living quarters-2

- Kennel, boarding
- Multifamily dwelling II
- Place of worship
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Transient accommodations (TA-2)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Transient accommodations (TA-5)
- Transient accommodations (TA-6)
- Wireless communications facility

§ 125-39 **Salisbury Cove Rural.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:
 - Agriculture, commercial
 - Campground
 - Cemetery
 - Commercial boatyard
 - Commercial stable
 - Employee living quarters-2
 - Place of worship
 - Road construction
 - Solar photovoltaic system, principal use (SPVS-PU)
 - Veterinary clinic
 - Wireless communications facility

§ 125-40 **Salisbury Cove Village.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:
 - Eleemosynary, educational or scientific institution
 - Employee living quarters-2
 - Marina
 - Place of worship
 - Road construction
 - Transient accommodations (TA-1)
 - Transient accommodations (TA-2)
 - Transient accommodations (TA-3)
 - Transient accommodations (TA-4)
 - Transient accommodations (TA-5)
 - Transient accommodations (TA-6)
 - Transient accommodations (TA-7)
 - Transient accommodations (TA-8)

Wireless communications facility

§ 125-43 **Town Hill Business.**

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Automobile repair garage
- Automobile sales lot
- Automobile service station
- Bank
- Campground
- Commercial boatyard
- Eleemosynary, educational or scientific institution
- Employee living quarters-1
- Food processing and freezing (excluding slaughterhouse)
- Food processing and freezing
- Hospital
- Light manufacturing/assembly plant
- Mobile home park
- Multifamily dwelling II
- Municipal school
- Newspaper or printing facility
- Parking garage and parking lot
- Research facility
- Research production facility
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Terminal yard and trucking facility
- Transient accommodations (TA-1)
- Transient accommodations (TA-2)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Transient accommodations (TA-5)
- Transient accommodations (TA-6)
- Transient accommodations (TA-7)
- Transient accommodations (TA-8)
- Upholstery shop
- Warehousing or storage facility
- Wholesale business establishment
- Wireless communications facility

§ 125-44 **Town Hill Residential Corridor.**

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Agriculture, commercial
- Campground
- Cemetery
- Employee living quarters-2
- Multifamily dwelling II
- Municipal school
- Municipal facility and grounds
- Place of worship
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Wireless communications facility

§ 125-45 **Town Hill Residential.**

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Agriculture, commercial
- Campground
- Cemetery
- Commercial stable
- Employee living quarters-2
- Marina
- Mobile home park
- Municipal facility and grounds
- Municipal school
- Place of worship
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Wireless communications facility

§ 125-46 **Town Hill Rural.**

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Agriculture, commercial
- Cemetery
- Commercial boatyard
- Commercial stable
- Eleemosynary, educational or scientific institution
- Employee living quarters-2

- Kennel, boarding
- Mineral extraction
- Mineral extraction and processing
- Municipal school
- Place of worship
- Road construction
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Wireless communications facility

§ 125-47 Shoreland General Development I.

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Cocktail lounge
- Commercial fish pier
- Commercial structure
- Employee living quarters₁
- Essential services accessory to a permitted use or structure
- Ferry terminal
- Gift shops
- Marina
- Multifamily dwelling II
- Municipal facility and grounds
- Recreational boating facility
- Road construction
- Ships chandlery
- Transient accommodations (TA-2)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Transient accommodations (TA-5)
- Transient accommodations (TA-6)
- Transient accommodations (TA-7)
- Transient accommodations (TA-8)

§ 125-49 Shoreland General Development II (Hulls Cove).

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Commercial fish pier
- Commercial structure
- Eleemosynary, educational or scientific institution
- Employee living quarters₁
- Essential services accessory to a permitted use or structure
- Ferry terminal
- Marina

Multifamily dwelling II
Road construction

§ 125-49.1 Shoreland General Development III.

D. Uses allowed by site plan.

- (1) The following uses shall be permitted by site plan review in any part of this district: bank; bed-and-breakfast I; bed-and-breakfast II; bed-and-breakfast III; bed-and-breakfast IV; bed-and-breakfast V; child-care center; commercial boat yard; commercial fish pier; employee living quarters-1; ferry terminal; farmers' market; hotel; marina; multifamily dwelling II; motel; nursing or convalescent homes or congregate housing; parking lot; parking deck; private compulsory school; professional office building; restaurant; retail; road construction; services; take-out restaurant; wind turbines, and wireless communication facilities.

§ 125-49.3 Shoreland Maritime Activities District.

- D. The following uses shall be permitted by site plan review in any part of this district: employee living quarters-1; functionally water-dependent uses, including permanent piers, wharfs and docks; commercial boat yard; commercial fish pier; passenger terminal; ferry terminal; marina; services.

Article V. Site Plan Review

§125-67 General review standards

- D. Parking requirements. Any activity that can be expected to generate vehicular traffic shall provide for off-street parking in accordance with the following requirements. Parking requirements may be reduced, as determined by the Planning Board, when at least 5% of the required parking spaces are designated for low-emitting and fuel-efficient vehicles, carpools or vanpools or any combination thereof, and are marked as such. Parking requirements may also be reduced, as determined by the Planning Board, for properties that are located on a regularly scheduled bus route.

- (3) Except as otherwise provided in this chapter, the following minimum off-street parking shall be provided and maintained in the case of new construction, alterations or changes of use which would increase the parking demand according to the standards set forth below, or any increase in the area used which increases the number of persons using the premises. In the event of such construction, alterations, change or increase, the entire premises or use, and not just that portion constructed, altered, changed or increased, shall become subject to the following requirements.

(x) Employee living quarters-1 and employee living quarters-2. shall not be required to provide parking.

[1] Based on maximum occupancy, the minimum parking required shall be 0.5 parking space per occupant in the Emery District, Hulls Cove Residential Corridor, Hulls Cove Rural, Indian Point Rural, McFarland Hill Rural, Salisbury Cove Corridor,

Salisbury Cove Rural, Salisbury Cove Village, Town Hill Business, Town Hill Residential Corridor, Town Hill Residential, and Town Hill Rural districts.

[2] No parking is required in the Bar Harbor Gateway, Mount Desert Street Corridor District, Village Residential, Downtown Village I, Downtown Village II, Hulls Cove Business, Ireson Hill Corridor, Shoreland General Development I, Shoreland General Development II (Hulls Cove), Shoreland General Development III, and the Shoreland Maritime Activities District.

§ 125-69 **Standards for particular uses, structures, or activities**

W. Employee living quarters-1 and employee living quarters-2. ~~All employee living quarters shall meet the following standards:~~

(1) Employee living quarters-1.

(1) (a) Design. When employee living quarters-1 is ~~are~~-visible from the street or from an abutting property to the side or rear lot lines that is under different ownership or control, the ~~employee living quarters~~ structure(s) shall be visually compatible with the principal building(s) and shall provide for rooflines that are similar in pitch and materials and building materials that are similar in regard to type and color scheme as the principal building(s).

(2) (b) Setback requirements. Employee living quarters-1 shall meet the same setback requirements as principal structures.

(3) (c) Building footprint area. The total building footprint area of the employee living quarters-1 shall not exceed 25% of the total building footprint area of the principal building(s) on the lot, unless otherwise exempt.

[1] Exempt from the building footprint area requirement is employee living quarters-1 located in the Mount Desert Street Corridor District, Downtown Village I, or Downtown Village II districts.

(4) (d) Density bonus (increased lot coverage).

(a) [1] An employee living quarters-1 (including its associated accessways and parking areas) may benefit from increased lot coverage not to exceed:

[1] [a] 63% in the Bar Harbor Gateway District.

[2] [b] 44% in the Mount Desert Street Corridor District.

[3] [c] 63% with sewers and 31% without sewers in the Village Residential District.

[4] ~~85% in the Hulls Cove Business District.~~

[5] [d] 31% in the Ireson Hill Corridor District.

[6] ~~44% in the Salisbury Cove Village District.~~

[7] [e] 63% in the Town Hill Business District.

[8] ~~19% in the Town Hill Residential District.~~

(b) [2] All other (nonemployee living quarters-1, including its associated accessways and parking) uses, activities, and structures on the lot shall be subject to the lot coverage requirements of the district it is in, as well as all other requirements of this chapter.

(c) [3] If an employee living quarters-1 (including its associated accessways and

parking), increases the lot coverage as allowed under section § 125-69 W.(1)(d)(4), it may not be enlarged, expanded, or otherwise provide for any other use, unless the lot coverage is brought into compliance with the requirements of the district it is in.

- (5) (e) Change of use. A change of use from employee living quarters-1 to another use shall comply with all requirements of this chapter, including lot coverage requirements.
- (6) (f) Parking benefitting from the density bonus (increased lot coverage) shall be for the exclusive use of the occupants of the employee living quarters-1.
- (7) (g) Every bedroom in employee living quarters-1 shall contain not less than 70 square feet of habitable floor area for each occupant, excluding enclosed spaces such as closets and bathrooms, and shall not be any less than seven feet in any horizontal dimension.

(2) Employee living quarters-2.

(a) Design. When employee living quarters-2 is visible from the street or from an abutting property to the side or rear lot lines that is under different ownership or control, the structure(s) shall be visually compatible with the building(s) on the same lot and shall include building materials that are similar in regard to type and color scheme as other building(s) on the lot.

(b) Setback requirements. Employee living quarters-2 shall meet the same setback requirements as principal structures.

(c) Density bonus (increased lot coverage).

[1] An employee living quarters-2 (including its associated accessways and parking areas) may benefit from increased lot coverage not to exceed:

- [a] 85% in the Hulls Cove Business District.
- [b] 31% in the Ireson Hill Corridor District.
- [c] 44% in the Salisbury Cove Village District.
- [d] 31% in the Salisbury Cove Corridor District.
- [e] 19% in the Town Hill Residential Corridor District.
- [f] 31% in the Hulls Cove Residential Corridor District.
- [g] 19% in the Town Hill Residential District.

[2] All other (nonemployee living quarters-2, including its associated accessways and parking) uses, activities, and structures, on the lot, shall be subject to the lot coverage requirements of the district it is in, as well as all other requirements of this chapter.

[3] If an employee living quarters-2 (including its associated accessways and parking), increases the lot coverage as allowed under section § 125-69 W.(2)(c), it may not be enlarged, expanded, or otherwise provide for any other use, unless the lot coverage is brought into compliance with the requirements of the district it is in.

(d) Change of use. A change of use from employee living quarters-2 to another use shall comply with all requirements of this chapter, including lot coverage requirements.

(e) Parking benefitting from the density bonus (increased lot coverage) shall be for the exclusive use of the occupants of the employee living quarters-2.

(f) Every bedroom in employee living quarters-2 shall contain not less than 70 square feet of habitable floor area for each occupant, excluding enclosed spaces such as closets and bathrooms, and shall not be any less than seven feet in any horizontal dimension.

Article XII. Construction and Definitions

EMPLOYEE LIVING QUARTERS-1

An accessory use structure, attached or detached from the principal structure, consisting of a series of rooms containing beds, where the occupants do not constitute a family or a single housekeeping unit, and the principal structure is a commercial use. It shall be used exclusively for the accommodation of employees, for more than 30 days, that are employed on or off site, as long as the off-site employees are employed by the same company, a parent company, or a subsidiary company that owns the parcel where the principal structure is located. Employee living quarters-1 serving a hospital shall not be subject to the thirty-day minimum requirement. Employee living quarters-1 must serve another use on the lot, meaning it cannot be the only use on the lot.

EMPLOYEE LIVING QUARTERS-2

An accessory use, within a structure consisting of a series of rooms containing beds, where the occupants do not constitute a family or a single housekeeping unit, and the principal use is a commercial use where there is no clear principal structure. It shall be used exclusively for the accommodation of employees, for more than 30 days, that are employed on or off site, as long as the off-site employees are employed by the same company, a parent company, or a subsidiary company that owns the parcel where the principal use is located. Employee living quarters-2 must serve another use on the lot, meaning it cannot be the only use on the lot. The maximum total occupancy of all employee living quarters-2 on a lot shall be 14 employees.

FAMILY

Two or more persons related by blood, marriage, adoption or guardianship, or not more than five persons not so related, occupying a dwelling unit and living as a single housekeeping unit, such a group to be distinguished from a group occupying a boardinghouse, lodging house, club, fraternity, transient accommodations, short-term rental, employee living quarters-1, employee living quarters-2, or shared accommodations.

Recommendations:

The seven-member Planning Board recommends adoption by a vote of 6 to 0.

The 15-member Warrant Committee recommends adoption by a vote of 11 to 0.

Article 3 – LAND USE ORDINANCE AMENDMENT – Shared Accommodations – Shall an ordinance, dated December 6, 2023, and entitled “**An amendment to expand the zoning districts where Shared Accommodations is an allowed use**” be enacted?

SUMMARY

This amendment would increase housing opportunities by allowing more types of Shared Accommodations in 10 zoning districts where that use is not currently allowed. Shared

Accommodations is a housing type that includes individual rooms with shared dining facilities.

EXPLANATION

The amendment would include the following changes:

- *Allow Shared Accommodations 1 in four additional zoning districts.*
- *Allow Shared Accommodations 2 in five additional zoning districts.*
- *Allow Shared Accommodations 3 in one additional zoning district.*
- *Require minimum parking standards for each type of Shared Accommodation in the 10 districts where those uses are not currently allowed.*

Shared Accommodations

An amendment to Articles III and V

The Town of Bar Harbor hereby ordains that Chapter 125 of the Town Code is amended as follows:

[Please Note: Old language is ~~stricken~~. New language is underlined.]

Chapter 125 , LAND USE ORDINANCE

Article III. Land Use Activities and Standards

§ 125-31 Ireson Hill Corridor.

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Bank
- Campground
- Employee living quarters
- Mineral extraction
- Mineral extraction and processing
- Multifamily dwelling II
- Municipal school
- Parking lot
- Place of worship
- Road construction
- Shared accommodations (SA-2)
- Solar photovoltaic system, principal use (SPVS-PU)
- Transient accommodations (TA-1)
- Transient accommodations (TA-2)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Transient accommodations (TA-5)
- Transient accommodations (TA-6)
- Transient accommodations (TA-7)
- Transient accommodations (TA-8)
- Warehousing or storage facility
- Wholesale business establishment
- Wireless communications facility

§ 125-40 **Salisbury Cove Village.**

- E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

Agriculture, avocational
Driveway construction
Filling/earthmoving activity of 10 cubic yards or more
Multifamily dwelling I
Noncommercial greenhouse
Noncommercial kennel
Noncommercial stable
Public or private park with minimal structural development
Roadside stand
Shared accommodations (SA-1)
Single-family dwelling
Two-family dwelling
Uses or small structures accessory to permitted uses or structures

§ 125-43 **Town Hill Business.**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

Automobile repair garage
Automobile sales lot
Automobile service station
Bank
Campground
Commercial boatyard
Eleemosynary, educational or scientific institution
Employee living quarters
Food processing and freezing (excluding slaughterhouse)
Food processing and freezing
Hospital
Light manufacturing/assembly plant
Mobile home park
Multifamily dwelling II
Municipal school
Newspaper or printing facility
Parking garage and parking lot
Research facility
Research production facility
Road construction
Shared accommodations (SA-2)
Solar photovoltaic system, principal use (SPVS-PU)
Terminal yard and trucking facility

- Transient accommodations (TA-1)
- Transient accommodations (TA-2)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Transient accommodations (TA-5)
- Transient accommodations (TA-6)
- Transient accommodations (TA-7)
- Transient accommodations (TA-8)
- Upholstery shop
- Warehousing or storage facility
- Wholesale business establishment
- Wireless communications facility

§ 125-47 **Shoreland General Development I**

D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:

- Cocktail lounge
- Commercial fish pier
- Commercial structure
- Employee living quarters
- Essential services accessory to a permitted use or structure
- Ferry terminal
- Gift shops
- Marina
- Multifamily dwelling II
- Municipal facility and grounds
- Recreational boating facility
- Road construction
- Shared accommodations (SA-2)
- Ships chandlery
- Transient accommodations (TA-2)
- Transient accommodations (TA-3)
- Transient accommodations (TA-4)
- Transient accommodations (TA-5)
- Transient accommodations (TA-6)
- Transient accommodations (TA-7)
- Transient accommodations (TA-8)

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built

- Bonus dwelling unit, if served by both public water and sewer
- Driveway construction
- Filling/earthmoving activity of 10 cubic yards or more
- Multifamily dwelling I

Public or private park with minimal structural development
Shared accommodations (SA-1)
 Single-family dwelling
 Two-family dwelling
 Uses or small structures accessory to permitted uses or structures

§ 125-49 **Shoreland General Development II**

- D. Activity or structure requires site plan approval. Activity or structure requires approval through site plan review process before it may be commenced or built:
- Commercial fish pier
 - Commercial structure
 - Eleemosynary, educational or scientific institution
 - Employee living quarters
 - Essential services accessory to a permitted use or structure
 - Ferry terminal
 - Marina
 - Multifamily dwelling II
 - Road construction
 - Shared accommodations (SA-2)

- E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built
- Bonus dwelling unit, if served by both public water and sewer
 - Driveway construction
 - Filling/earthmoving activity of 10 cubic yards or more
 - Multifamily dwelling I
 - Public or private park with minimal structural development
 - Shared accommodations (SA-1)
 - Single-family dwelling
 - Small, nonresidential facility, without structures, for educational, scientific or nature interpretation purposes
 - Two-family dwelling
 - Uses or small structures accessory to permitted uses or structures

§ 125-49.1 **Shoreland General Development III**

- C. Allowed uses.
- (1) Principal uses allowed by building permit or a change of use permit from the Code Enforcement Officer: artist studio, child care, family, gallery, government facility, home occupation (NOTE: Home occupations in properties with lot frontage or access on Route 3 shall be required to obtain minor site plan approval.); multifamily dwelling I; municipal facility, municipal school; public or private park with minimal structural development; Shared accommodations (SA-1); single-

family dwelling; two-family dwelling; and bonus dwelling unit, if served by both public water and sewer.

D. Uses allowed by site plan.

- (1) The following uses shall be permitted by site plan review in any part of this district: bank; bed-and-breakfast I; bed-and-breakfast II; bed-and-breakfast III; bed-and-breakfast IV; bed-and-breakfast V; child-care center; commercial boat yard; commercial fish pier; employee living quarters; ferry terminal; farmers' market; hotel; marina; multifamily dwelling II; motel; nursing or convalescent homes or congregate housing; parking lot; parking deck; private compulsory school; professional office building; restaurant; retail; road construction; services; Shared accommodations (SA-2); Shared accommodations (SA-3); take-out restaurant; wind turbines, and wireless communication facilities.

Article V. Site Plan Review

§ 125-67 General Review Standards

D. Parking requirements. Any activity that can be expected to generate vehicular traffic shall provide for off-street parking in accordance with the following requirements. Parking requirements may be reduced, as determined by the Planning Board, when at least 5% of the required parking spaces are designated for low-emitting and fuel-efficient vehicles, carpools or vanpools or any combination thereof, and are marked as such. Parking requirements may also be reduced, as determined by the Planning Board, for properties that are located on a regularly scheduled bus route.

- (3) Except as otherwise provided in this chapter, the following minimum off-street parking shall be provided and maintained in the case of new construction, alterations or changes of use which would increase the parking demand according to the standards set forth below, or any increase in the area used which increases the number of persons using the premises. In the event of such construction, alterations, change or increase, the entire premises or use, and not just that portion constructed, altered, changed or increased, shall become subject to the following requirements.

(y) Shared accommodations.

- [1] Shared accommodations (SA-1). Based on maximum occupancy, parking shall be provided at a rate of 0.5 parking space per occupant in the Bar Harbor Gateway, Mount Desert Street Corridor, Hulls Cove Business, Ireson Hill Corridor, Salisbury Cove Village, Town Hill Business, ~~and the~~ Town Hill Residential Corridor, Shoreland General Development I, Shoreland General Development II, and Shoreland General Development III Districts. Parking spaces may be allowed in tandem with a maximum of two vehicles in a row. The minimum area per parking space shall be 136 square feet.
- [2] Shared accommodations (SA-2 and SA-3). Based on maximum occupancy, parking shall be provided at a rate of 0.2 parking space per occupant in the Bar Harbor Gateway, ~~and the~~ Hulls Cove Business, Ireson Hill Corridor, Town Hill

Business, Shoreland General Development II, Shoreland General Development III Districts and 0.1 parking space per occupant in the Mount Desert Street Corridor District and Shoreland General Development I.

Recommendations:

The seven-member Planning Board recommends adoption by a vote of 6 to 0.

The 15-member Warrant Committee recommends adoption by a vote of 7 to 4.

Article 4 – LAND USE ORDINANCE AMENDMENT – Increased Housing Opportunities - Shall an ordinance, dated December 6, 2023, and as modified by the Council on February 20, 2024, and entitled “**An amendment to comply with Public Law 2021, ch. 672 (LD 2003) and Public Law 2023, ch. 192 (LD 1706) meant to increase housing units statewide by requiring municipalities to remove some regulatory barriers to housing,**” be enacted?

SUMMARY

This amendment is necessary to comply with LD 2003 and LD 1706. It is part of a statewide effort to increase housing units by requiring municipalities to remove some regulatory barriers to housing production. It allows for a density bonus of 2.5 times the base density for affordable housing developments in certain areas. It generally allows between two and four housing units per lot where housing is permitted, as well as allowing accessory dwelling units to be located on the same lot as a single-family home, under certain conditions.

Furthermore, the amendment would delete Bar Harbor’s “bonus dwelling unit” use because LD 2003 requires a comparable but more permissive use, referred to as accessory dwelling units. The amendment would also prohibit dwelling units expressly created under these provisions to be registered and/or used as short-term rentals.

EXPLANATION

This amendment is necessary to comply with P.L. 2021, ch. 672 (LD 2003), codified at 30-A M.R.S. § 4364, 4364-A, 4364-B entitled an Act to Implement the Recommendations of the Commission to Increase Housing Opportunities in Maine by Studying Zoning and Land Use Restrictions, as clarified by P.L. 2023, ch. 192 (LD 1706), entitled An Act to Clarify Statewide Laws Regarding Affordable Housing and Accessory Dwelling Units, which became effective June 16, 2023.

*The amendment would allow three types of housing opportunities: **Affordable Housing Development** (30-A MRSA §4364); **Multiple Dwelling Units** (30-A MRSA §4364-A); and **Accessory Dwelling Units** (30-A MRSA §4364-B). These housing opportunities supersede some of the requirements and standards of the current Bar Harbor Land Use Ordinance. This amendment includes its own definitions of terms.*

The **Density Bonus for Affordable Housing Development** section creates an automatic density bonus of 2.5 times the base density for certain affordable housing developments. To qualify for the bonus, the development must:

- Include a certain percentage of rent- or sale price-restricted affordable housing units.
- Be in a designated Growth Area.
- Be in an area that allows multi-family dwellings.
- Meet shoreland zoning requirements.
- Meet the state minimum lot size (20,000 square feet) if a subsurface disposal system is used.
- Demonstrate that water and sewer capacity is adequate for the development.
- Provide a minimum of 0.66 parking spaces per dwelling unit in all districts with the exception of the following three districts where no parking is required: Downtown Village I, Downtown Village II, and Village Transitional.
- Require a restrictive covenant to ensure the housing remains affordable for a minimum of 30 years.

The **Multiple Dwelling Units** section generally allows for two to four dwelling units on parcels where residential uses are allowed. The additional dwelling unit(s) can be within the existing home, attached to it, or in a new structure. The number of additional dwelling units allowed under this section is dependent on:

- The location of the parcel.
- Whether or not a dwelling unit presently exists on the parcel.
- Having adequate water and wastewater capacity.
- Compliance with shoreland zoning requirements.
- Compliance with the dimensional requirements of the Land Use Ordinance including the minimum area per family requirements.
- Compliance with easements, covenants, and/or deed restrictions.

The **Accessory Dwelling Units** section allows any lot with a single-family dwelling unit in a district where housing is allowed to have one accessory dwelling unit. The accessory dwelling unit can be within the existing dwelling unit, attached to it, or in a new structure. It also allows an existing accessory structure to be converted into an accessory dwelling unit.

All accessory dwelling units are exempt from the area per family standard but must comply with all other dimensional standards. For an accessory dwelling unit in an accessory structure, the setback and dimensional requirements for such a structure apply.

Deletion of the Bonus Dwelling Unit Use. It would delete the “bonus dwelling unit” use because LD 2003 requires Bar Harbor to allow a comparable but more permissive use, referred to as Accessory Dwelling Units. The bonus dwelling unit use would be deleted from the 13 districts where it is allowed: Village Historic, Village Residential, Downtown Village I, Downtown Village II, Emery District, Hulls Cove Rural, McFarland Hill Residential, McFarland Hill Rural, Schooner Head, Town Hill Rural, Shoreland General Development I, Shoreland General Development II (Hulls Cove), and Shoreland General Development III.

Short-Term Rentals. Dwelling units expressly created under these provisions shall not be registered and/or used as short-term rentals.

**An amendment to Articles III, V, XII
The Town of Bar Harbor hereby ordains that Chapter 125 of the Town Code is amended
as follows:**

[Please Note: Old language is ~~stricken~~. New language is underlined.]

Chapter 125, LAND USE ORDINANCE

Article III. Land use Activities and Standards

§ 125-18 Village Historic.

C. Allowed uses.

- (1) Principal uses allowed by building permit or a change of use permit from the Code Enforcement Officer: home occupation; public or private park with minimal structural development; multifamily dwelling I; vacation rentals; single-family dwelling, two-family dwelling; ~~bonus dwelling unit~~; noncommercial greenhouse, and government facility/use.

F. Other requirements.

- ~~(4) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-20 Village Residential.

C. Allowed uses.

- (1) Principal uses allowed by building permit or a change of use permit from the Code Enforcement Officer: government facility with road frontage on Route 3 or Eagle Lake Road; home occupation; municipal school; public or private park; single- and two-family dwelling; ~~bonus dwelling unit~~; multifamily dwelling I; roadside stand; vacation rentals.

G. Other requirements.

- ~~(3) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-21 Downtown Village I.

C. Allowed uses:

- (1) Uses allowed by a building permit or a change of use permit with the Code Enforcement Officer: all retail; public information, municipal and government uses; multifamily dwelling I; restaurants and bars; theaters; galleries; services; shared accommodations (SA-1); professional offices; vacation rentals; all bed-and-breakfasts; food-processing establishment; theaters; single- and two-family dwelling units; ~~bonus dwelling unit~~; laundry and dry cleaning; artist studio, eleemosynary institution, place of worship; farmers market; home occupation.

E. Other requirements.

~~(3) Bonus dwelling units are exempt from the area per family requirement.~~

(2) § 125-21.1 **Downtown Village II.**

C. Allowed uses.

- (1) Uses allowed by a building permit or a change of use permit with the Code Enforcement Officer: all retail, public information; municipal and government uses; restaurants and bars on lots with frontage on Cottage Street, Main Street, Mount Desert Street or West Street; theaters; galleries; artist studios; banks; services; shared accommodations (SA-1); vacation rentals; theaters; all bed-and-breakfasts; food-processing establishment; professional office buildings; laundry and dry cleaning; artist studio; farmers market; single-family dwelling; two-family dwelling; ~~bonus dwelling unit~~; home occupation; multifamily dwelling I.

E. Other requirements.

~~(3) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-23 **Emery District.**

- E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

- Accessory dwelling
- Agriculture, avocational
- ~~Bonus dwelling unit~~
- Commercial garden, greenhouse or nursery
- Driveway construction
- Filling/earthmoving activity of 10 cubic yards or more
- Home occupation
- Kennel
- Noncommercial greenhouse
- Public or private park with minimal structural development
- Roadside stand
- Single-family dwelling
- Two-family dwelling
- Uses or small structures accessory to permitted uses or structures
- Vacation rentals

G. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-27 **Hulls Cove Rural.**

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

- Accessory dwelling
- Agriculture, avocational
- ~~Bonus dwelling unit~~
- Commercial garden, greenhouse or nursery
- Commercial stable
- Driveway construction
- Farmers' market
- Filling/earthmoving activity of 10 cubic yards or more
- Home occupation
- Lumberyard or sawmill
- Noncommercial greenhouse
- Noncommercial stable
- Public or private park with minimal structural development
- Roadside stand
- Single-family dwelling
- Two-family dwelling
- Uses or small structures accessory to permitted uses or structures
- Vacation rentals
- Veterinary clinic

G. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-33 **McFarland Hill Residential.**

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

- Accessory dwelling
- Agriculture, avocational
- ~~Bonus dwelling unit~~
- Commercial garden, greenhouse or nursery
- Driveway construction
- Filling/earthmoving activity of 10 cubic yards or more
- Home occupation
- Noncommercial greenhouse
- Noncommercial stable
- Public or private park with minimal structural development
- Roadside stand
- Single-family dwelling
- Two-family dwelling

Uses or small structures accessory to permitted uses or structures
Vacation rentals

H. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-34 **McFarland Hill Rural.**

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

- Accessory dwelling
- ~~Bonus dwelling unit~~
- Agriculture, avocational
- Commercial garden, greenhouse or nursery
- Driveway construction
- Filling/earthmoving activity of 10 cubic yards or more
- Home occupation
- Kennel
- Noncommercial greenhouse
- Noncommercial stable
- Public or private park with minimal structural development
- Roadside stand
- Single-family dwelling
- Two-family dwelling
- Uses or small structures accessory to permitted uses or structures
- Vacation rentals

G. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-41 **Schooner Head.**

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

- Accessory dwelling
- ~~Bonus dwelling unit~~
- Driveway construction
- Filling/earthmoving activity of 10 cubic yards or more
- Noncommercial greenhouse
- Public or private park with minimal structural development
- Single-family dwelling
- Uses or small structures accessory to permitted uses or structures
- Uses or structures accessory to permitted uses or structures
- Vacation rentals

G. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-46 **Town Hill Rural.**

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

- Accessory dwelling
- ~~Bonus dwelling unit~~
- Agriculture, avocational
- Commercial garden, greenhouse or nursery
- Driveway construction
- Farmers' market
- Filling/earthmoving activity of 10 cubic yards or more
- Home occupation
- Kennel
- Noncommercial greenhouse
- Noncommercial kennel
- Noncommercial stable
- Private school
- Public or private park with minimal structural development
- Roadside stand
- Single-family dwelling
- Two-family dwelling
- Uses or small structures accessory to permitted uses or structures
- Vacation rentals
- Veterinary clinic

H. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-47 **Shoreland General Development I.**

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

- Accessory dwelling
- ~~Bonus dwelling unit, if served by both public water and sewer~~
- Driveway construction
- Filling/earthmoving activity of 10 cubic yards or more
- Multifamily dwelling I
- Public or private park with minimal structural development
- Single-family dwelling
- Two-family dwelling

Uses or small structures accessory to permitted uses or structures
Vacation rentals

G. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-49 Shoreland General Development II (Hulls Cove).

E. Activity or structure requires permit from Code Enforcement Officer. Activity or structure requires permit issued by Code Enforcement Officer (CEO) before it may be commenced or built:

Accessory dwelling

~~Bonus dwelling unit, if served by both public water and sewer~~

Driveway construction

Filling/earthmoving activity of 10 cubic yards or more

Multifamily dwelling I

Public or private park with minimal structural development

Single-family dwelling

Small, nonresidential facility, without structures, for educational, scientific or nature interpretation purposes

Two-family dwelling

Uses or small structures accessory to permitted uses or structures

Vacation rentals

G. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

§ 125-49.1 Shoreland General Development III.

C. Allowed uses.

(1) Principal uses allowed by building permit or a change of use permit from the Code Enforcement Officer: artist studio, child care, family, gallery, government facility, home occupation (NOTE: Home occupations in properties with lot frontage or access on Route 3 shall be required to obtain minor site plan approval.); multifamily dwelling I; municipal facility, municipal school; public or private park with minimal structural development; all vacation rentals; single-family dwelling; and two-family dwelling; ~~and bonus dwelling unit, if served by both public water and sewer.~~

G. Other requirements.

~~(1) Bonus dwelling units are exempt from the area per family requirement.~~

Article V. Site Plan Review

§ 125-69 Standards for particular uses, structures or activities.

Notwithstanding and in addition to any other provision of this chapter, before granting site plan

approval for any land use activity described in this section, the Planning Board must find that the proposed plan will comply with such of the following standards as are applicable:

AA. Bonus Dwelling Units Reserved

The purpose of bonus dwelling units is to assist in increasing the housing supply by allowing and encouraging the most efficient use of existing housing by capitalizing on existing infrastructure such as roads, water, sewer, etc.

- (1) There shall be no more than one bonus dwelling unit per lot that is occupied by a single-family dwelling.
- (2) No bonus dwelling unit shall be used as a short-term rental or as a vacation rental.
- (3) No bonus dwelling unit shall be sold separately from the single-family dwelling when both uses are located on a nonconforming lot of record.

BB. INCREASED HOUSING OPPORTUNITIES.

(1) Scope and Applicability.

(a) The Act. This section complies with P.L. 2021, ch. 672, codified at 30-A M.R.S. §§ 4364, 4364-A, and 4364-B entitled an *Act to Implement the Recommendations of the Commission to Increase Housing Opportunities in Maine by Studying Zoning and Land Use Restrictions*, herein referred to as the Act.

(b) Housing opportunity types.

The Town of Bar Harbor is required to comply with the Act and to allow three types of housing opportunities. These housing opportunities supersede some of the requirements and standards of this ordinance as described in this section including, but not limited to, Article III Land Use Activities and Standards. The three types of housing opportunities are:

- [1] Affordable housing development;
- [2] Multiple dwelling units; and
- [3] Accessory dwelling units.

(c) The provisions of this section do not:

- [1] Exempt development from having to comply with other provisions and requirements of this ordinance including, but not limited to, 125-69 N Subdivision; and Article XII, Construction and Definitions, with the exception of any terms that are specifically defined in subsection (3) Definitions;
- [2] Abrogate or annul the validity or enforceability of any valid and enforceable easement or covenant between private parties that imposes greater restrictions, as long as the agreement does not abrogate rights pursuant to the United States Constitution or the Constitution of Maine;
- [3] Exempt development from having to comply with Title 30-A, Chapter 187, subchapter 4: Subdivisions;
- [4] Exempt development from having to comply with the shoreland zoning requirements;

[5] Abrogate or annul the minimum lot size requirements under Title 12, Chapter 423-A; or

[6] Exempt development from meeting the requirements and standards of the Land Use Ordinance unless specified otherwise.

(2) Requirements for the Three Types of Housing Opportunities.

(a) Affordable housing development.

The purpose of this housing opportunity is to provide a density bonus for affordable housing developments, as outlined below.

[1] Permitting Authority. Dwelling units expressly allowed under this subsection must be permitted by site plan review.

[2] Eligibility requirements.

To be eligible for the density bonus and minimum parking requirements, the development shall:

[a] Be located in a designated Growth Area or served by both public water and sewer;

[b] Meet the minimum lot size requirements under Title 12, Chapter 423-A;

[c] Be located in a district regulated by density requirements;

[d] Be located in a district where multi-family dwellings are allowed;

[e] Comply with all shoreland zoning requirements;

[f] Meet the definition of affordable housing development;

[g] Preserve a minimum of 51% of the units as affordable housing units;

[h] For rental housing, have occupancy of all the units designated affordable in the development restricted to households at or below 80% of the area median income, as calculated at the time of initial occupancy;

[i] For owned housing, have occupancy of all the units designated affordable in the development restricted to households at or below 120% of the area median income, as calculated at the time of initial occupancy;

[j] Be connected to either public water and wastewater services, or provide proof of adequate and potable private water and wastewater disposal under the Code of Maine Rules;

[k] Execute and record (at the Hancock County Registry of Deeds) a declaration of covenants that: restricts the affordability of the dwelling units to households that meet the above-stated income levels and requirements; imposes a duration of affordability of no less than 30 years after the issuance of the Certificate of Occupancy; and identifies a third-party, acceptable to the Bar Harbor Town Manager, who will be responsible for enforcing the elements of the declaration.

[3] Density Bonus. The development is allowed a dwelling unit density of 2.5 times the base density that is otherwise allowed in the underlying district. If

fractional results occur when calculating the density bonus, the number of units is rounded down to the nearest whole number.

[4] Parking Requirements. The development shall provide a minimum of 0.66 parking spaces per dwelling unit in all districts with the exception of development in the Downtown Village I, Downtown Village II, and Downtown Village Transitional where no parking is required. The number of spaces shall be rounded up to the nearest whole number. In no case may the offsite parking requirements exceed two spaces for every three units.

[5] Short-term rentals. None of the dwelling units expressly permitted under this subsection shall be registered and/or used as short-term rentals (vacation rental-1 or vacation rental-2).

(b) Multiple dwelling units.

The purpose of this housing opportunity is to allow multiple dwelling units on lots where residential uses are allowed subject to the following provisions:

[1] Permitting Authority. Dwelling units expressly allowed under this subsection must be permitted by building permit or a change of use permit from the Code Enforcement Officer or by site plan review when subdivision is triggered.

[2] Up to four dwelling units shall be allowed per lot if:

- [a] The lot is located in a designated Growth Area;
- [b] The minimum lot size requirements under Title 12, Chapter 423-A, are met;
- [c] The dwelling units must be connected to adequate water and wastewater;
- [d] Any private well water service is potable and acceptable for domestic use under the Code of Maine Rules;
- [e] The lot is located in a district where residential use, including as a conditional use, is allowed;
- [f] The lot does not contain an existing dwelling unit; and
- [g] It complies with shoreland zoning requirements.

[3] Up to two dwelling units per lot, located within one structure or located in two separate structures, shall be allowed per lot if:

- [a] The lot is not located in a designated Growth Area;
- [b] The minimum lot size requirements under Title 12, Chapter 423-A, are met;
- [c] The dwelling units must be connected to adequate water and wastewater;
- [d] Any private well water service is potable and acceptable for domestic use under the Code of Maine Rules;
- [e] The lot is located in a district where residential use is allowed; and

- [f] The lot does not contain an existing dwelling unit.
- [g] It complies with shoreland zoning requirements.

[4] Dwelling unit allowance for lots where one dwelling unit already exist.

If a lot already has one existing dwelling unit, the addition of up to two additional dwelling units shall be allowed. However, if a lot already has two existing dwelling units, no additional dwelling units may be built on the lot unless allowed in the underlying district. The dwelling unit allowance is subject to the following requirements:

- [a] The additional dwelling unit(s) may be located within the existing structure; attached to the existing structure; detached from the existing structure; or any combination thereof;
- [b] The dwelling units must be connected to adequate water and wastewater;
- [c] Any private well water service is potable and acceptable for domestic use under the Code of Maine Rules; and
- [d] It complies with shoreland zoning requirements.

[5] Lot not eligible for additional dwelling units.

If more than one dwelling unit has been constructed on a lot as a result of any provision of this section, the lot is not eligible for any additional units or increase in density, except as allowed in the underlying districts.

[6] Minimum Area per Family.

The minimum area per family requirement of the underlying district applies for dwelling units created pursuant 125-69 BB. (2)(b).

[7] Short-term rentals.

None of the dwelling units expressly permitted under this subsection shall be registered and/or used as short-term rentals.

(c) Accessory dwelling units.

The purpose of this housing opportunity is to allow for a secondary dwelling unit on a lot with an existing dwelling unit.

[1] Permitting Authority. Dwelling units expressly allowed under this subsection must be permitted by building permit or a change of use permit from the Code Enforcement Officer or by site plan review when subdivision is triggered.

[2] Requirements.

- [a] Accessory dwelling units are allowed in districts where residential uses are allowed.
- [b] Accessory dwelling units must be on the same lot as a single-family dwelling unit.

[c] Accessory dwelling units must be located either within an existing dwelling unit; attached to or sharing a wall with the single-family dwelling unit; in a new or existing structure; or within an existing accessory structure.

[d] One accessory dwelling unit is allowed on any lot where a single-family dwelling unit is the principal structure.

[d] If there is more than one dwelling unit on a lot, as a result of the provisions in this subsection or the multiple dwelling units subsection, the lot is not eligible for any additional increases in density, except as allowed in the district.

[e] Accessory dwelling units are allowed on a non-conforming lot if the accessory dwelling unit does not further increase the non-conformity.

[f] Accessory dwelling units must comply with all local dimensional standards with the exception of minimum lot size and minimum area per family standards from which they are exempt.

[g] Accessory dwelling units located within the same structure as a single-family dwelling unit, attached to a single-family dwelling, or in a new structure must meet the same dimensional standards of the single-family dwelling unit.

[h] Accessory dwelling units located in an existing accessory structure must meet the setback requirements for the accessory structure.

[i] Accessory dwelling units are not subject to parking requirements.

[j] Accessory dwelling units must be a minimum of 190 square feet in size, unless the Technical Building Code and Standards Board, pursuant to 10 M.R.S. § 9722, adopts a different minimum standard; if so, that standard applies.

[k] Accessory dwelling units must be connected to adequate water and wastewater.

[l] Accessory dwelling units must be served by water that is potable and acceptable for domestic use under the Code of Maine Rules.

[3] Short-term rentals. None of the dwelling units expressly permitted under this subsection shall be registered and/or used as short-term rentals (vacation rental-1 or vacation rental-2).

(3) Definitions.

Article XII applies to this section unless the term is specifically defined below.

ACCESSORY DWELLING UNIT — A self-contained dwelling unit located within, attached to or detached from a single-family dwelling unit located on the same parcel of land. An accessory dwelling unit must be a minimum of 190 square feet.

AFFORDABLE HOUSING DEVELOPMENT

A. For rental housing, a development in which a household whose income does not exceed 80% of the median income for the area (area median income) as defined by the U.S. Department of Housing and Urban Development under the *United*

States Housing Act of 1937, Public Law 75-412, 50 Stat. 888, Section 8, as amended, can afford 51% or more of the units in the development without spending more than 30% of the household's monthly income on housing costs; and

- B. For owned housing, a development in which a household whose income does not exceed 120% of the median income for the area (area median income) as defined by the U.S. Department of Housing and Urban Development under the *United States Housing Act of 1937, Public Law 75-412, 50 Stat. 888, Section 8, as amended, can afford 51% or more of the units in the development without spending more than 30% of the household's monthly income on housing costs.*
- C. For purposes of this definition, housing costs include, but are not limited to:
 - (1) For a rental unit, the cost of rent and any utilities (electric, heat, water, sewer, and/or trash) that the household pays separately from the rent; and
 - (2) For an ownership unit, the cost of mortgage principal and interest, real estate taxes (including assessments), private mortgage insurance, homeowner's insurance, condominium fees, and homeowners' association fees.

AREA MEDIAN INCOME — The midpoint of a region's income distribution calculated on an annual basis by the U.S. Department of Housing & Urban Development.

ATTACHED — Connected by a shared wall to the principal structure.

BASE DENSITY — The maximum number of units allowed on a lot not used for affordable housing based on dimensional requirements in this Land Use Ordinance. This does not include density bonuses, transferable development rights, or other similar means that could increase the density of lots not used for affordable housing.

CENTRALLY MANAGED WATER SYSTEM — A water system that provides water for human consumption through pipes or other constructed conveyances to at least 15 service connections or serves an average of at least 25 people for at least 60 days a year as regulated by 10-144 C.M.R. Ch. 231, *Rules Relating to Drinking Water*. This water system may be privately owned.

CODE OF MAINE RULES — State of Maine regulations.

COMPARABLE SEWER SYSTEM — Any subsurface wastewater disposal system that discharges over 2,000 gallons of wastewater per day as regulated by 10-144 C.M.R. Ch. 241, *Subsurface Wastewater Disposal Rules*.

COMPREHENSIVE PLAN — A document or interrelated documents consistent with 30-A M.R.S. § 4326(1)-(4), including the strategies for an implementation program which are consistent with the goals and guidelines established pursuant to Title 30-A Chapter 187 Subchapter II.

COVENANT — A provision in a deed, or other covenant conveying real property, restricting the use of the land.

DENSITY REQUIREMENTS — The maximum number of dwelling units allowed on a lot, subject to dimensional standards.

DESIGNATED GROWTH AREA — Means an area as defined in 30-A M.R.S. §4349-A (1)(A) or (B). The designated Growth Area includes the area(s) in the adopted Bar Harbor Comprehensive Plan designated as suitable for orderly residential, commercial, or industrial development, or any combination of those types of development, and into which most development projected over 10 years is directed. Designated growth areas may also be referred to as priority development zones or other terms with a similar intent. If the Town does not have an adopted Comprehensive Plan, the designated Growth Area means an area served by a public sewer system that has the capacity for growth-related projects, an area identified on the latest federal decennial census as a census-designated place or a compact area of an urban compact municipality as defined by 23 M.R.S. §754.

DIMENSIONAL REQUIREMENTS — Requirements which govern the size and placement of structures including, but limited not to, the following requirements: building height, lot area, minimum frontage and lot depth.

DWELLING UNIT — Any part of a structure which, through sale or lease, is intended for human habitation, including single-family and multi-family housing, condominiums, time-share units, and apartments.

EXISTING DWELLING UNIT — A residential unit in existence on a lot at the time of submission of a permit application to build additional units on that lot.

LOT — A single parcel of developed or undeveloped land.

MULTI-FAMILY DWELLING — A structure containing three or more dwelling units.

POTABLE — Safe for drinking as defined by the U.S. Environmental Protection Agency’s (EPA) Drinking Water Standards and Health Advisories Table and Maine’s interim drinking water standards for six different perfluoroalkyl and polyfluoroalkyl substances (PFAS), Resolve 2021 Chapter 82, *Resolve, To Protect Consumers of Public Drinking Water by Establishing Maximum Contaminant Level for Certain Substances and Contaminants.*

PRINCIPAL STRUCTURE — A structure in which the main or primary use of the structure is conducted. For purposes of this rule, principal structure does not include commercial buildings.

RESIDENTIAL USE — A use permitted to be used for human habitation. Residential uses may include single-family, two-family, and other multi-family dwellings. The following uses are not included under this definition: (1) student housing, shared-accommodations, and employee living quarters; (2) congregate housing; and (3) campgrounds, campsites, hotels, motels, all beds and breakfast, all transient accommodations, or other types of lodging accommodations.

SETBACK — The minimum horizontal distance from a lot line, shoreline, or road to the nearest part of a structure, or other regulated object or area as defined in local ordinance.

SHORELAND ZONING REQUIREMENTS — Includes shoreland zoning requirements under Title 38 Chapter 3, and the Bar Harbor Land Use Ordinance including but to limited to sections 125-47, 125-48, 125-49, 125-49.1, 125-49.2, 125-49.3, 125-50, and 125-68.

SINGLE-FAMILY DWELLING UNIT — A structure containing one dwelling unit.

STRUCTURE — Anything temporarily or permanently located, built, constructed or erected for the support, shelter or enclosure of persons as defined in 38 M.R.S. §436-A(12).

TWO-FAMILY DWELLING — A structure containing two dwelling units.

ZONING ORDINANCE — A type of land use ordinance that divides a municipality into districts and that prescribes and reasonably applies different regulations in each district.

Article XII. Construction and Definitions

§ 125-109 Definitions.

The following terms shall have the following meanings:

BONUS DWELLING UNIT

~~A second dwelling unit allowed on the same lot where only one single family dwelling unit exists, either within the same building as the single family dwelling unit or in a detached building. Bonus dwelling units shall comply with the standards in 125-69 AA.~~

Recommendations:

The seven-member Planning Board recommends adoption by a vote of 6 to 0.

The 15-member Warrant Committee recommends adoption by a vote of 6 to 1 with 4 abstentions.

Article 5 – LAND USE ORDINANCE AMENDMENT – Design Review – Shall an ordinance, dated December 6, 2023, as modified by the Council on February 20, 2024 and entitled “**An amendment to modify the design review process and standards**” be enacted?

SUMMARY

This amendment would:

- *Update some properties names to Appendix A – Historic Properties in Design Review Overlay District*
 - *Amend a definition related to signage review.*
 - *Simplify the review process for signs.*
 - *Adjust the Design Review Overlay district boundaries and area names.*
 - *Minimize redundancy by removing Appendix B – Locally Significant Properties in Design Review Overlay District and all reference to it.*
 - *Allow more time for the Planning and Code Department to review Design Review Board applications.*
-
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EXPLANATION

This amendment includes the following changes to Article III – Land Use Activities and Standards, Article V – Site Plan Review, Article XII – Construction and Definitions, Article XIII – Design Review, Appendix A – Historic Properties in Design Review Overlay District, & Appendix B – Locally Significant Properties in Design Review Overlay District:

- *Update the “Present Name” column for five properties listed on Appendix A – Historic Properties in Design Review Overlay District.*
- *Alter the boundaries and rename the areas within the Design Review Overlay District described in Article XIII – Design Review. A new map of the overlay district will be included in the Land Use Ordinance to visually show and describe the district boundaries.*
- *Add a new area to the Design Review Overlay District called: Shoreland Maritime Activity Area.*
- *Updated Design Review Overlay map.*
- *Transfer signage review to the Code Enforcement Officer (CEO) with the exception of internally illuminated signs and signs listed in Appendix A.*
- *Remove language from Article III – Land Use Activities and Standards and Article V – Site Plan Review that mentions Appendix B – Locally Significant Properties in Design Review Overlay District or a requirement of Design Review Board approval for signage.*
- *Change the design review application deadline from at least seven days prior to the Design Review Board meeting to at least 14 days prior to the meeting.*
- *Increase the amount of time for the Planning Department to review design review applications for completeness from three days to ten days.*
- *Change the application deadline from seven days to 14 days prior to the Design Review Board meeting.*

An amendment to the Historic Properties & Signs

The Town of Bar Harbor hereby ordains that Chapter 125 of the Town Code is amended as follows:

[Please Note: Old language is ~~stricken~~. New language is underlined. Old images are covered with an X. New images are outlined with a gray dashed outline.]

Chapter 125 , LAND USE ORDINANCE

Article III Land Use Activities and Standards

§ 125-19. Mount Desert Street Corridor District.

F. ~~Other requirements.~~

- (1) ~~Design Review Board approval shall be required for all changes to existing or new facades if the subject property is listed in Appendix A, or B of this chapter. [Also see parking requirements found in § 125-67B(4).]~~
- (2) ~~Design Review Board approval shall be required for all signage as stipulated in § 125-67BB.~~

§ 125-18. Village Historic.

F. ~~Other requirements.~~

- (1) ~~All new construction and/or changes to facades and signs shall require Design Review Board approval if visible from a public way. Single family homes are exempt from this provision unless otherwise included in Appendix A or B of this chapter.~~

§ 125-21. Downtown Village I.

E. ~~Other requirements.~~

- (1) ~~All changes to facades and signs require Design Review Board approval.~~

§ 125-21.2. Downtown Village Transitional.

E. ~~Other requirements.~~

- (1) ~~All changes to facades and signs require Design Review Board approval.~~

Article V Site Plan Review

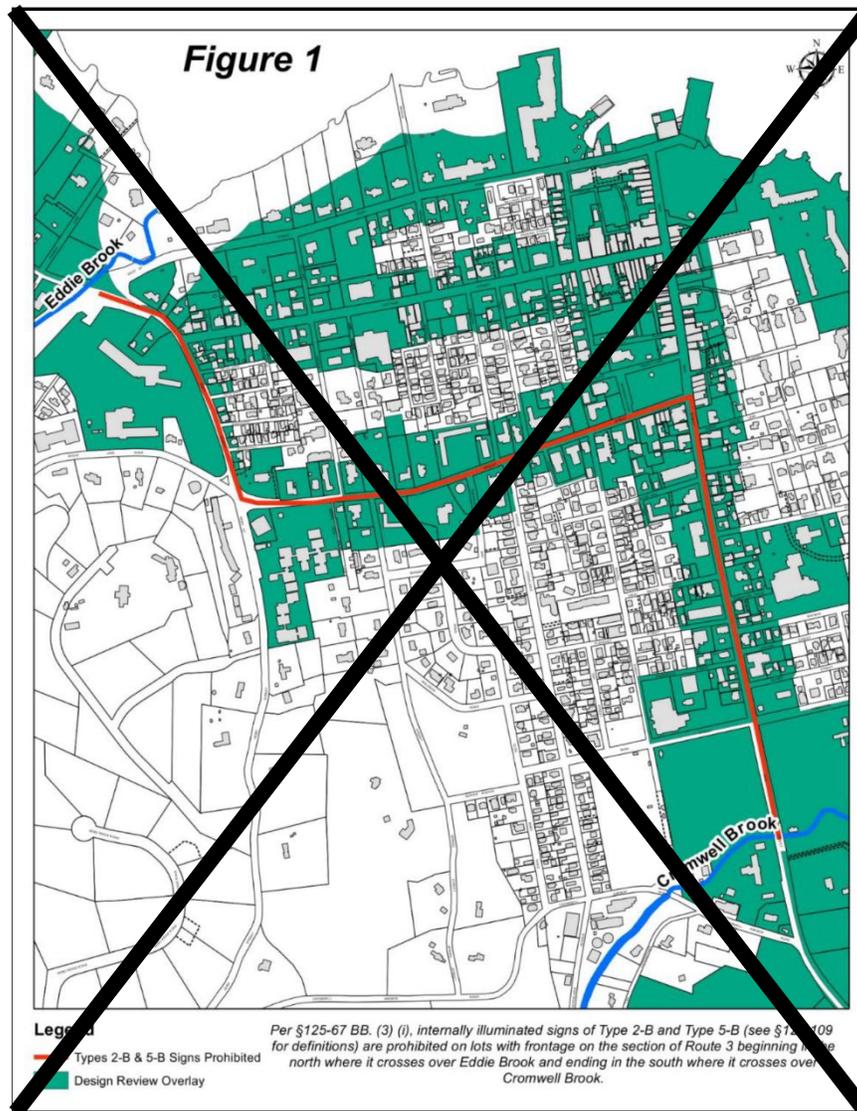
§ 125-67. General review standards.

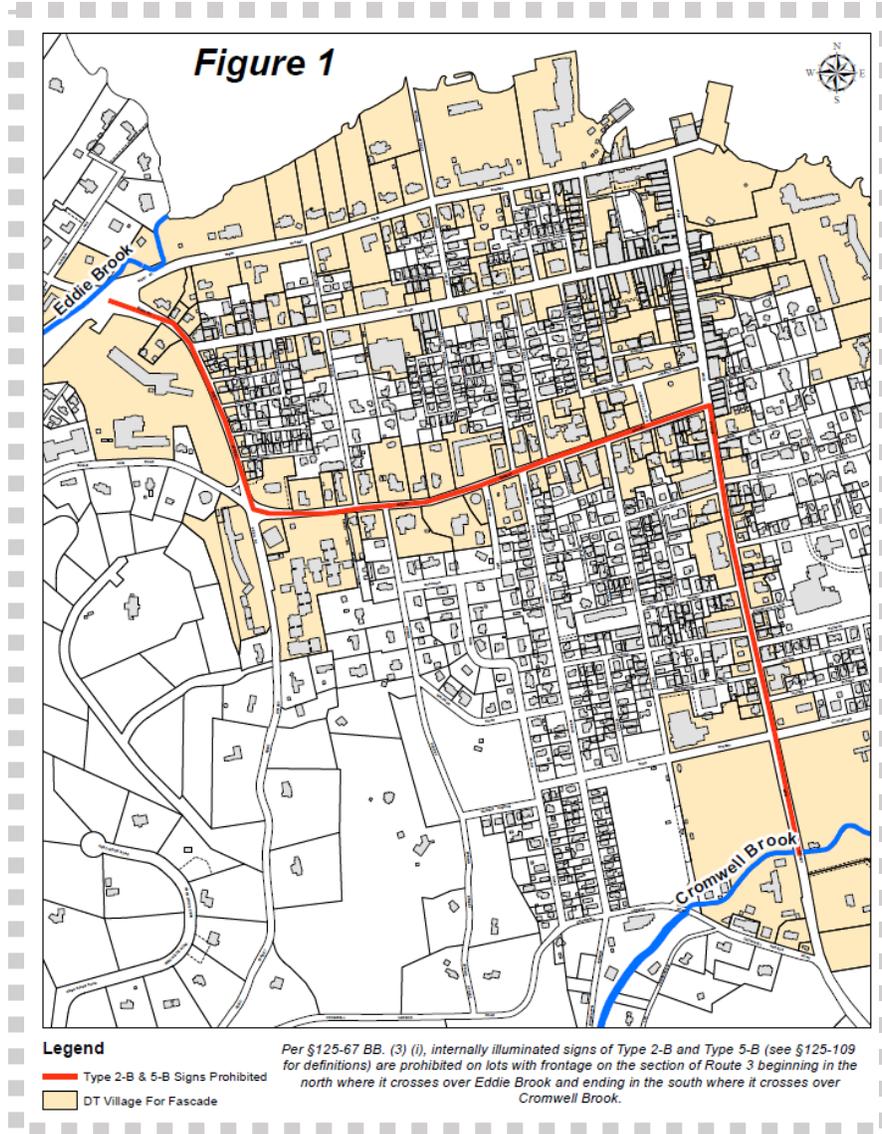
- BB. Signs and advertising. All site plans shall demonstrate that all signs related to the proposed development will comply with the following standards, to which all signs located within the Town of Bar Harbor are subject, regardless of the need for site plan approval. ~~In~~

addition, activities located within the Design Review Overlay District that require a certificate of appropriateness pursuant to Article XIII, Design Review, are subject to additional requirements set forth in the standards of Article XIII.

(3) Prohibitions.

- (i) Internally illuminated signs of Type 2-B, cabinet with light limiting face, 30% (or less) translucent face/70% (or greater) opaque background field, and Type 5-B, push-through lighting, 30% (or less) translucent/70% (or greater) opaque background field, are prohibited in all districts except for lots with frontage on Route 102, Route 3, or Route 233. They are also prohibited on lots with frontage on the section of Route 3 beginning in the north where it crosses over Eddie Brook and ending in the south where it crosses over Cromwell Brook, as shown in Figure 1.





- (4) Conditional signs. Signs noted below are allowed without a ~~certificate of appropriateness~~ or a building permit and shall not be counted toward allowable square footage for sign area, subject to noted conditions, provided they comply as follows:

- (5) General Requirements for all signs.
 - (d) Maximum sign area. The aggregate area for signs for any premises shall not exceed two square feet per one foot of road frontage up to 100 square feet. Aggregate sign area may be increased upon review by the ~~Design Review Board~~ Code Enforcement Officer of multitenant sign plans, signage for property with multiple front property lines, and campus sign plans that meet the purpose and intent of the Sign Ordinance.

- (e) Maximum individual sign area. Unless otherwise approved by the ~~Design Review Board~~ Code Enforcement Officer, individual signs shall not exceed 24 square feet in the Downtown Village I and II and historic districts.

- (6) Signs subject to specific standards. ~~the review by the Design Review Board for a certificate of appropriateness.~~ All signs ~~listed below mentioned in this section~~ are required to meet the following standards ~~receive a certificate of appropriateness from the Design Review Board~~ prior to receiving a building permit, ~~if they are located within the identified districts or are associated with a conditionally permitted use.~~ Signs located in all other districts shall receive a A building permit from the Code Enforcement Officer is required prior to installing the sign.

- (a) Building permits required. All signs except those otherwise exempted are required to obtain a building permit, ~~as well as the certificate of appropriateness.~~

~~[1] All signs listed below are required to meet the specific standards in section § 125-67 BB (6) receive a certificate of appropriateness from the Design Review Board prior to receiving a building permit if they are located within the following districts or are associated with a conditionally permitted use.~~

- ~~[a] Village Historic.~~
- ~~[b] Bar Harbor Gateway.~~
- ~~[c] (Reserved)~~
- ~~[d] Downtown Village I and II Districts.~~
- ~~[e] Educational Institutional.~~
- ~~[f] Lots with road frontage on Routes 102 and 3.~~
- ~~[g] Marine Research.~~
- ~~[h] Scientific Research.~~
- ~~[i] Shoreland General Development I and II.~~
- ~~[j] Town Hill Business.~~
- ~~[k] Town Hill Residential Corridor.~~

~~[2] Signs in other districts shall receive a building permit from the Code Enforcement Office prior to erecting the sign.~~

~~[3] All signs shall be reviewed to determine compliance with the purpose and intent of this subsection.~~

- (b) Wall signs, window signs, door signs, freestanding signs and roof signs.
- (c) Indoor neon signs visible from the street. Allowed neon signs shall be for the purpose of displaying whether the business is open or the general type of merchandise available for purchase. Neon signs are part of the calculation for allowed signage and shall not exceed two square feet in total.
- (d) Banners and signs for Chamber of Commerce events, drives and large gatherings, previous Merchant's Flag Program, sales flyers totaling more than two square feet per tenant and other advertisements not otherwise regulated. The ~~Design Review Board~~ Code Enforcement Officer shall review the location, color, and size, compatibility of

design, quantity, and length of time for display. Such displays shall not visually impede upon existing commercial signs, nor block public views in public parks.

- (e) Off-premises signs. Off-premises signs, excluding official business directional signs as defined in 23 M.R.S.A. § 1903, may be constructed, erected or maintained only in accordance with the following:

- [1] Location of establishment.

- [a] Any commercial establishment having frontage on the Old Bar Harbor Road, Sand Point Road, Norway Drive, or the Hadley Point Road shall be permitted to have up to four off-premises signs.

- [b] Any commercial establishment not having frontage which is contiguous to the main entrance on Maine State Route 102 or 233 or on Eden, Mount Desert, Main, Cottage, or West Street shall be permitted to have up to two off-premises signs.

- [c] Any commercial establishment having contiguous frontage on Maine State Route 102 or 233 or on Eden, Mount Desert, Main, Cottage or West Street shall not have off premises signs.

- [2] Off-premises signs shall be directional only in nature.

- [3] The maximum area of any off-premises sign shall be limited dependent upon its location according to the following:

Location of Off-Premises Sign	Permitted Area (square feet)
In the area bounded by and including the Atlantic Ocean, Eden Street and Mount Desert Street and the imaginary extension thereof shoreward	2
On roads with speed limits less than 30 miles per hour	4
On roads with speed limits of 30 to 49 miles per hour	8
On roads with speed limits greater than 49 miles per hour	12

- (f) Property owners of multi-tenant buildings shall submit an overall signage plan for their property. No individual sign shall be approved on a multi-tenant building unless a signage plan has been submitted and approved by the Design Review Board. The signage plan need not show the specific message content for any individual sign contained therein. In addition to Table 2^[5] the signage plan shall show:

- [1] Allowable square footage for each unit;

- [2] Any restrictions on signage as may be imposed by the landowner.

- [5] *Editor's Note: Table 2 is included at the end of this chapter.*

- (g) Sandwich signs or boards.

- (h) Taxi or tour stand signs.

- (i) Activity/program signboard: chalkboard, tack board, grease board or wood panel.
- (j) Other portable signs not otherwise listed unless specifically prohibited.
- (k) Campus signage. In the Educational Institute on, Marine Research and Scientific Research Districts, a campus sign plan shall be submitted to the ~~Design Review Board~~ Code Enforcement Officer. This plan shall show the entire campus site plan, outlining the location and design specification for entry point signs, internal building signs, directional signs and any other pertinent signage. The ~~Board's~~ review will be to determine adequate locations, ease and safety for finding parking and buildings, and cohesiveness of the overall theme.
- (l) Awning or canopy:
 - [1] Lettering or graphics no more than 12 inches in height permitted on the valance;
 - [2] Lettering and graphics on an awning or canopy or attached valance are considered signage and must comply with the requirements of this chapter.
 - [3] There shall be eight feet of clearance from the bottom of the valance to the ground.
- (m) Kiosks for the purpose of visitor way-finding and general information sponsored and maintained by either the Town of Bar Harbor or a private nonprofit agency.
- (n) Internally illuminated signs: opaque background only and allowable only on Routes 102 and Route 3 outside of the Downtown Village Districts and historic districts.
- (o) Exemptions. The following activities are not subject to a building permit: ~~design review~~:
 - [1] ~~Replacement of one conforming non-internally illuminated sign, provided that the replacement sign is equal to or less than the square footage of the existing conforming sign it will replace. The sign may be altered in any code-compliant manner, except that it may not be relocated or enlarged. [Amended 11-2-2021]~~
 - [2] ~~A tenant occupying a space with an Design Review Board approved tenant signage plan may replace signage at any time, provided that the new signage will comply with the approved tenant signage plan for the building.~~
 - [3] ~~1] Installation of one twenty-four inch-by thirty-six inch sandwich board sign, provided that it is not located in a public way and is taken inside at the close of business each night.~~
 - [4] ~~2] Installation of lighting for signage, provided that such lighting complies with § 125- 67Z.~~

Article XII Construction and Definitions

§ 125-109 Definitions.

The following terms shall have the following meanings:

MULTI-TENANT SIGNAGE PLAN

A plan approved by a building the property owner which outlines design guidelines for multi-tenant signage. Such a plan may include, but is not limited to the following elements: size

limitations and locations of signage. The multi-tenant signage plan shall be submitted to reviewed by the Design Review Board, and upon approval by the Board the building owner shall be issued a certificate of appropriateness certifying the approval of the plan.

Article XIII Design Review

§ 125-110 Purpose of design review.

The purpose of design review is to provide for the regulation of building and site design within designated areas of the Town of Bar Harbor as proposed in the Town's adopted Comprehensive Plan in order to promote the following goals:

- A. The education, economics, and the general welfare of the Town, its residents, and guests;
- B. The protection and preservation of buildings, places, and things of aesthetic, historic, cultural, or of architectural value;
- C. The continued maintenance and improvement of existing structures in a timely and responsible manner;
- D. The fostering of a positive and identifiable image to encourage continued private and public interest, investment, and development within the designated area;
- E. The construction and maintenance of aesthetically pleasing structures using materials compatible with those materials and buildings that exist in their immediate area; and
- F. The ability of the Design Review Board to carry out its task in a timely and fair manner with the best interests of the Town, its residents, property owners, and consumers in mind using the regulations, definitions, and standards of this article.

§ 125-111 Design Review Board.

- A. ~~Creation and c~~Composition. There is hereby created a Design Review Board which shall consist of seven members appointed by the Town Council, who shall be residents of the Town of Bar Harbor, interested in the preservation and development of the Community.
- B. ~~Reserved. Transition. Upon adoption of this article, the former Board of Review shall become the Design Review Board, the members of the Board of Review shall become the members of the Design Review Board with the same terms of service, the Design Review Board shall assume all of the functions previously performed by the Board of Review, and the two additional members shall be appointed by the Town Council. The Design Review Board may be referred to as the "Review Board" or "Board."~~
- C. Jurisdiction. The Review Board's jurisdiction shall be limited to the Design Review Overlay District identified in § 125-112A. The Review Board shall be concerned with those elements of development, redevelopment, rehabilitation and/or preservation that affect the visual quality of the district. ~~The Design Review Overlay District In Downtown Village Districts, this review~~ includes views from public streets and parking lots, as well as the view from the waterfront. ~~In the Town Hill Business District, all sides of the building and the overall property development are subject to review.~~ The Board shall not consider the interior floor plan layout of buildings as part of its review. **[Amended 11-3-2009; 6-8-2010]**
- D. Term of office. The term of office shall be for three years.
- E. Members serve without pay. Members of the Board shall serve without pay but shall be reimbursed for any and all authorized expenses incurred personally in carrying out the

purposes of this article.

- F. Organization. The Board shall elect from its membership a Chair and a Vice Chair who shall serve for terms of one year and who shall be eligible for re-election. The Chair shall preside over the Board and have the right to vote. In an absence or disability of the Chair, the Vice Chair shall perform the duties of the Chair.
- G. Staff assistance. The Code Enforcement Officer and ~~Town Planner~~ Planning Department staff shall provide such technical, administrative, and clerical assistance ~~as required by to the Board, subject to the approval of the Town Manager.~~
- H. Professional assistance. The Board, subject to the Town Council's consent, shall have the right to retain and pay for the services and expenses of professional help needed in carrying out the purpose of this article. If the review of an application requires outside professional assistance, the Board may require the payment of a technical assistance fee in accordance with § 125-65D to defray the Town's costs in obtaining such assistance.
- I. Meetings. The Board shall hold regular meetings, at least monthly, to review applications for certificates of appropriateness. All meetings of the Board shall be recorded.

§ 125-112 Applicability of design review.

- A. Design Review Overlay Districts. [**Amended 11-4-2003; 11-2-2004; 6-9-2009; 11-3-2009**]
 - (1) The provisions of this article shall apply only within the ~~geographic~~ limits of the following Design Review Overlay District, hereinafter called the "district." A map of the district can be found in the Planning Department.
 - (2) Boundaries of the Design Review Overlay District. The district as depicted in a map titled "Design Review Overlay District of the Town of Bar Harbor, Maine" shall include the following: neighborhood districts as shown on the Official Neighborhood Districts Map of Bar Harbor: the Downtown Village I District; Downtown Village II District; the Shoreland General Development I District; Shoreland General Development II District; the Village Historic District; and the Town Hill Business District. The district is depicted on the map titled "Design Review Overlay District of the Town of Bar Harbor, Maine." The district also includes all bed and breakfast uses, all shared accommodations uses, and individual properties with the following uses, regardless of their district location: TA-1, TA-3, TA-4, and TA-6. The district also includes properties listed in Appendix A and/or Appendix B of this chapter. [**Amended 6-8-2010; 6-14-2016; 7-14-2020**]

(a) Bar Harbor Village Area.

- [1] All properties with road frontage on State Highway 3 from Harbor Lane to Cromwell Harbor Road (includes parts of Eden and Main streets and all of Mount Desert Street.
- [2] All properties with road frontage on West Street from Eden Street to, and including, the pier.
- [3] All properties with road frontage on Bridge Street from West Street to the shore.
- [4] All properties with road frontage on Cottage Street from Eden Street to Main Street.
- [5] All properties with road frontage on Main Street from the pier to Cromwell Harbor Road.

[6] All properties with road frontage on Rodick Street and Rodick Place.

[7] All properties with road frontage on Firefly Lane.

[8] All properties with road frontage on The Field.

[9] All properties abutting the Shore Path from the pier to Wayman Lane.

(b) Town Hill Village Area.

[1] All properties with road frontage on State Highway 102 from the southern end of Right of Way Road to Pats Way.

(c) Shoreland Maritime Activity Area.

(d) Hulls Cove Village Area.

[1] All properties with road frontage on State Highway 3 from Visitor Center Road to the southern end of Sand Point Road.

(e) All properties and signs listed in Appendix A of this Chapter.

(3) ~~The district also includes the districts and area included in the Sign Ordinance, § 125-67BB.~~ The district also includes the following uses regardless of their geographic location and therefore these may not be depicted on the map titled “Design Review Overlay District of the Town of Bar Harbor, Maine.”

(a) All internally illuminated signs and all signs listed in Appendix A.

(b) All bed-and-breakfast uses.

(c) All shared accommodation uses.

B. Activities subject to design review. Any of the following activities shall be undertaken within the designated district only after a certificate of appropriateness has been issued by the Code Enforcement Officer of the Town of Bar Harbor after review and approval by the Design Review Board: [Amended 11-4-2003; 5-3-2004; 11-2-2004]

(1) The demolition, in whole or in part, of a building or structure classified as historic as denoted in Appendix A ~~and/or B or is a bed and breakfast I, II or IV TA 1, 3, 4 or 6, respectively.~~ **[Amended 6-8-2010]**

(2) The moving or relocation of a building, sign or structure classified as historic as denoted in Appendix A ~~and/or B or is a bed and breakfast I, II or IV TA 1, 3, 4 or 6, respectively.~~ **[Amended 6-8-2010]**

(3) Any material change, other than routine maintenance and repair and minor renovations as outlined in Subsection C, in the exterior appearance of an existing building, sign, fence, or structure classified as historic as denoted in Appendix A, ~~and/or B or is a bed and breakfast, TA 1, 3, 4 or 6, respectively, including such as~~ additions, reconstruction, alterations, or maintenance involving a change in the exterior color or materials. **[Amended 6-8-2010]**

(4) Any new construction of a principal or accessory building or structure, except for lots with the principal use of a single- or two-family dwelling;

(5) Any material change, other than routine maintenance and repair and minor renovations as outlined in Subsection C, in the exterior appearance of an existing nonhistoric building or structure, except for lots with the principal use of a single- or two-family dwelling, such as additions, reconstruction, alterations, or maintenance involving a change in the exterior color, if the change is subject to view from a public street;

(6) Any change in existing fences and/or retaining, ornamental or other freestanding walls or the construction of new fences and/or freestanding walls on a parcel, except for lots with the principal use of a single or two-family dwelling, if the wall or fence

- is located along a public street right-of-way;
- (7) The erection of a new internally illuminated sign, the relocation of an existing internally illuminated sign, ~~approval of a signage plan and its specific content as per § 125-67BB(3)(e)~~, or the modification of an existing internally illuminated sign which changes the size, color, lighting, or graphic design of the sign, ~~except for lots with the principal use of a single or two-family dwelling.~~
 - (8) The seasonal closure of a business involving the placement of window coverings or other activities which alter the exterior appearance of the property and can be seen from a public street. (Note: The certificate of appropriateness obtained initially shall remain in effect as long as the closure treatment remains unchanged.)
- C. Activities not subject to design review. The following activities are not subject to design review:
- (1) The construction of a new principal or accessory building or structure or the modification of an existing nonhistoric building or structure used entirely for single- or two-family dwelling occupancy. **[Amended 5-3-2004]**
 - (2) The erection or modification of signs, freestanding walls, fences, landscaping or similar activities at a property used entirely for single- or two-family dwelling occupancy. **[Amended 5-3-2004]**
 - (3) Temporary or emergency activities intended to protect a property from damage as a result of a natural event, such as a storm, or to secure a property from further damage following a storm, fire, or similar event. All permanent improvements or repairs shall be subject to design review.
 - (4) Routine maintenance or repair where no change is made to the exterior appearance of the structure or grounds. The following list illustrates the types of work that a property owner may undertake without a certificate of appropriateness:
 - (a) Repainting using the existing colors.
 - (b) Replacement of window glass.
 - (c) Caulking and weatherstripping.
 - (d) Installation or removal of window air conditioners.
 - (e) Installation or changes of mechanical equipment, such as heating and air-conditioning units, television antennas/satellite dishes, and garbage containers, as long as it is completely screened from view by landscaping or fencing.
 - (f) Repair of roofing materials as long as the material is of a similar color, texture and general appearance.
 - (g) Replacement of missing or deteriorated siding, gutters, trim, porch flooring, steps, etc., using replacement materials that match the original and that do not damage or eliminate architectural features.
 - (h) Repair or replacement of masonry foundations where the original foundation material is retained or where any new material matches the original in color, material, and appearance [including the installation of metal foundation vents (side and rear only) and the replacement of access doors which cannot be seen from the street].
 - (i) Repointing and other masonry repairs where the color and composition of the mortar, brick or stone match the original.
 - (j) Replacement of storm windows or doors provided that the trim color is

- white or compliments the building's trim color.
- (k) Installing house numbers and mailboxes.
- (5) Minor renovations that do not include any changes in the exterior appearance of the building, such as:
 - (a) Replacing old windows with new windows of the same size and material.
 - (b) Replacing old siding with new siding of the same material and color.
 - (c) Replacing old roofing with new roofing with the same color and style.
- (6) Renovation or new construction which is limited to the following types of improvements:
 - (a) Exterior building facade paint color selected from the Design Review Board approved color chart(s). The color chart(s) can be obtained from the Planning Department and may be updated from time to time pursuant to Design Review Board approval. Colors not listed on the color chart(s) require a certificate of appropriateness from the Design Review Board.
 - (b) (Reserved)
 - (c) (Reserved)
 - (d) (Reserved)
 - (e) Installation of roof-mounted solar collection panels and appurtenant equipment.
 - (f) Retractable awnings made of fabric material. Fabric may be striped or solid in color, and must be listed on the approved color chart for awnings in order to be eligible for an exemption. Lettering or wording shall not be printed on the awning unless otherwise approved through the issuance of a certificate of appropriateness.
 - (g) Installation of lighting for signage, provided such lighting complies with § 125-67Z.

(7) The change of use of an existing building with no changes to the exterior.

D. Classification of buildings, signs, and structures. Within the district, all buildings and structures shall be divided into two classes, historic and nonhistoric. **[Amended 11-4-2003]**

- (1) Historic buildings and structures. For the purposes of this article, buildings and structures possessing identified historic or architectural merit of a degree warranting their preservation shall be classified as historic.
 - (a) Those buildings or structures which meet one or more of the following criteria shall be considered as historic, noting that they may not all meet state or federal criteria for official designation as historic properties:
 - [1] Buildings or structures at which events occur or have occurred that contribute to, are identified with, or significantly represent or exemplify the broad cultural, political, economic, military, social, or sociological history of Bar Harbor and/or the nation. These include sites and buildings at which the public may gain insight or see examples of particular items or patterns relevant to North American heritage.
 - [2] Buildings or structures importantly associated with historical personages.
 - [3] Buildings or structures importantly associated with historic examples of a great idea or ideal.
 - [4] Buildings or structures or structural remains embodying examples of architectural types of specimens valuable for study of a period, style, or

method of building construction, of community organization and living, or a single site representing the work of a master builder, designer, architect, or landscape architect.

[5] Buildings or structures contributing to the visual continuity and aesthetic value of the district.

[6] Buildings or structures currently on, or eligible for, the National Register of Historic Places or listing as a National Historic Landmark.

- (b) A list of the properties meeting one or more of these criteria is contained in Appendixes A ~~and B~~. The Board shall annually review both the criteria and the properties included on the list and shall make recommendations to the Town Meeting for modifications to the criteria and additions to, or deletions from, the list as it deems necessary to accomplish the objectives of these design review provisions.
- (c) The owner of any property within the district may submit a written request to the Board asking for a review of the historic or architectural merit of his/her property and consideration of its inclusion on or deletion from the list. In such cases, the Board shall review the property for conformance with the criteria and recommend adding or deleting the property as appropriate to the Town Meeting.

(2) Nonhistoric buildings and structures. All buildings and structures not classified as historic based upon the criteria of Subsection **D(1)** and included on the list of historic properties shall be classified as nonhistoric.

§ 125-113 Application and review procedures.

A. Preapplication procedures.

- (1) Prior to making application for a certificate of appropriateness, an applicant ~~shall~~ should familiarize herself/himself themselves with the requirements and procedures of this section and obtain a copy of the procedures, standards, Design Review Handbook, and application form from the Planning Department. Applicants are welcome to observe a meeting of the Design Review Board to familiarize themselves with the Board's procedures.
- (2) Applicants are encouraged to meet informally with ~~the Town Planner or Code Enforcement Officer~~ Planning Department staff to discuss their project prior to preparing and submitting an application or making any binding arrangements for the proposed improvements.
- (3) All preapplication activities shall be informational in nature, and any discussions during these activities shall in no way be construed to be a decision or to bind future actions of the Board. No preapplication discussions shall cause an application to be considered to be a pending application or proceeding under 1 M.R.S.A. § 302.

B. Application submission and review procedures. The applicant shall prepare and submit an application for a certificate of appropriateness together with supporting documentation that meets the requirements set forth below, provided that all time limits provided in this section may be extended by the mutual agreement of the applicant and the Board. The submission shall be processed as follows:

- (1) The application shall be submitted to the Planning Department at least ~~seven~~ fourteen

days prior to the meeting of the Design Review Board at which the application will be considered.

- (2) Upon receipt of an application, the Planning Department shall give the applicant a dated receipt and review the submission for completeness within ~~three~~ ten days.
 - (3) If the Planning Department finds that the application is complete, that all required information has been submitted, the Planning Department shall place the application on the agenda for the next scheduled meeting of the Board.
 - (4) If the Planning Department finds the application to be incomplete, it shall return it to the applicant with a written indication of the additional information and/or revisions needed and shall inform the applicant that the application will not be processed until a complete application is submitted. If an application is returned to the applicant on the basis that it is incomplete, the applicant may appeal this decision, in writing, to the Design Review Board and the Board shall consider the completeness of the application at its next meeting. If the Board finds that the application is complete, it shall continue with the review of the application.
 - (5) The Board shall consider an application at its next scheduled meeting after it is determined to be complete. The applicant and/or his/her representative(s) shall attend the meeting and shall explain the proposed activities to the Board and answer any questions about the application. The burden is on the applicant to demonstrate that the application meets the requirements of § **125-114**. The applicant and/or his/her representative(s) may present any information to the Board that he/she feels will demonstrate compliance with the standards.
 - (6) The Board shall act to approve, approve with conditions, or deny an application within 30 days of its initial consideration. The Board may extend this period to 45 days for projects involving the construction of a new building or an addition to an existing building. If the Board fails to act within the period provided the application shall be deemed to have been denied.
 - (7) The Board may impose conditions on the approval but only those that are necessary to assure compliance with the standards of approval. In making its decision, the Board shall make written findings of fact establishing that the proposal does or does not meet the standards. Following its action, the Board shall notify the Code Enforcement Officer of its decision and instruct the Code Enforcement Officer as to whether a certificate of appropriateness shall be issued.
- C. Coordination with site plan review.
- (1) The design review and site plan review requirements deal with different aspects of a project. Some of the activities subject to design review may also require that the applicant obtain site plan approval from the Planning Board. These include the construction of a new building, projects involving the expansion or renovation of an existing building, and situations in which the use of the building is being changed.
 - (2) Prior to preparing an application for a certificate of appropriateness, the applicant should review this chapter and/or meet with the Town Planner to determine if site plan approval is required in addition to design review. If site plan review is also required, the applicant may submit concurrent applications to the two Boards and may request that the two applications be reviewed concurrently.
 - (3) The application for design review must be consistent with the activities and design submitted as part of the site plan review application. If either Board's review and

approval of the plan results in revisions or conditions which affect aspects of the project subject to the other Board's review, both the applications must be modified accordingly. Projects subject to both design review and site plan review must comply with both approvals and any conditions imposed as part of the approvals.

D. Process for the demolition of a historic building. This Subsection **D** establishes two processes for the demolition of a building or structure classified as historic. The first allows for immediate demolition with the issuance of a certificate of appropriateness, while the second allows for delayed demolition if a certificate of appropriateness is not issued.

(1) Immediate demolition.

(a) If the owner of a building or structure classified as historic seeks to demolish the building or structure in whole or in part, the Review Board may approve the issuance of a certificate of appropriateness for the demolition if the property owner shows that the application meets the standards of § 125-114F E(2).

(b) If a certificate of appropriateness is approved, the applicant may immediately apply to the Code Enforcement Officer for a demolition permit. If the Board fails to approve the issuance of a certificate of appropriateness permitting the demolition, the applicant may proceed under the delayed demolition procedures.

(2) Delayed demolition.

(a) If the Board fails to issue a certificate of appropriateness, the owner of a building or structure classified as historic may apply for a permit to demolish the building in accordance with the following procedures. The building may be demolished; provided, however, that before a demolition permit is issued, four months' notice of the proposed demolition shall be given.

(b) The objective of this provision is to further the purposes of this article by preserving historic buildings which are important to the education, culture, traditions, and the economic values of the Town and to afford the Town, interested persons, historic societies or organizations the opportunity to acquire or to arrange for the preservation of such buildings.

(c) The Board may at any time during such stay approve a certificate of appropriateness in accordance with § 125-114F E(2) in which event a demolition permit shall be issued without further delay.

(d) Public notice of the pending demolition shall be provided as follows:

[1] Notice of the proposed demolition shall be posted on the premises of the building or structure proposed for demolition in a location clearly visible from the street, shall be mailed to the Maine State Historic Preservation Office, and shall be delivered to the Bar Harbor Historical Society.

[2] Notice shall be published in a newspaper of general local circulation at least three times prior to demolition, the final notice of which shall be not less than 15 days prior to the date of the permit, and the first notice of which shall be published no more than 15 days after the application for a permit to demolish is filed.

E. Submission requirements.

- (1) The activities covered by design review vary widely in their scope and complexity and, hence, in the type and amount of information needed by the Design Review Board to determine if the proposed activities are consistent with the standards of this section.
- (2) In all cases, the burden is on the applicant to provide the Board with adequate information to determine the appropriateness of the project.
- (3) To aid the applicant in preparing his/her application, the minimum submission requirements shown in the following table have been established. Applicants should submit additional information if they feel that is necessary or helpful in demonstrating that the proposed activities are consistent with the standards.
- (4) The following exhibits shall be submitted as part of an application for a certificate of appropriateness. Projects involving more than one activity must submit the exhibits required for each of the proposed activities. For example, a project involving the painting of an existing building and the installation of a new sign is required to submit the exhibits required for both aspects of the project.

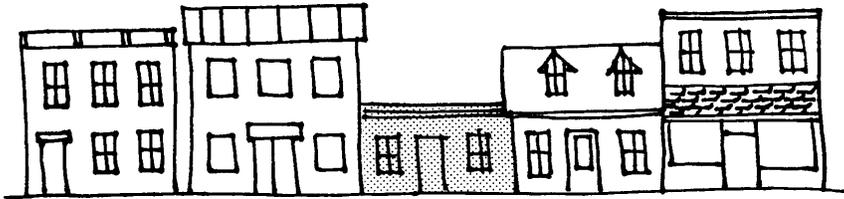
§ 125-114 Design review standards.

- A. In reviewing an application for a certificate of appropriateness, the Design Review Board shall approve the issuance of a certificate if it finds the application and proposed activities are consistent with the following standards, or that they will be consistent as a result of conditions of approval imposed on the application.
 - (1) The standards are broken down into five categories:
 - (a) Standards relating to visual compatibility;
 - (b) Standards for materials and design details for structural projects;
 - (c) Standards for materials and design details for accessory projects;
 - (d) Standards for signs; and
 - (e) Standards for historic buildings.
 - (2) In reviewing applications, the Board shall consider the appropriate sections of each of these categories and shall find the project in conformance with all relevant provisions before approving the issuance of a certificate of appropriateness.
 - (3) ~~Appendix B contains a list of locally significant buildings within the district that reflect the type of design that these standards are intended to foster. These buildings should be viewed as the standard of design against which proposed projects are judged. The intention of providing this list is not that new proposals should seek to replicate the specific design of one of these buildings but rather to provide examples of the overall level of design that is deemed to be appropriate within the district. In addition, Pictorial examples of acceptable treatments of various features are provided for many of the standards in the Design Review Handbook, which can be provided by the Planning Department.~~
- B. Standards relating to visual compatibility. The following standards for visual compatibility shall apply to all activities subject to a certificate of appropriateness within the Design Review Overlay District. These standards are intended to guide the design, construction, and maintenance of buildings, improvements, signs, and other visual features within the district to assure that they complement the visual character of the district and to serve as a foundation for the review of an application for a certificate of appropriateness. These

standards are intended to be general statements of design principles to which activities within the district are required to conform.

- (1) Building height. The height of new buildings and additions or modifications to existing buildings shall be visually compatible with adjacent buildings as seen from public streets. Where an established pattern of building heights exists, the height or apparent height of new, expanded, or modified buildings as seen from the public street shall maintain a complementary pattern.

Inappropriate Treatment

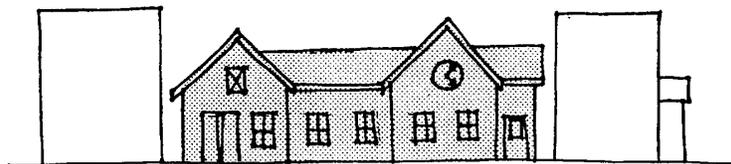
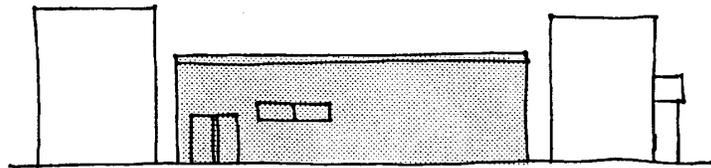


Appropriate Treatment

- (2) Building scale and design.
 - (a) The size of a building and the building mass in relationship to the site and surrounding features shall visually complement the buildings, squares, and places to which it is visually related.
 - (b) Where there is an established pattern of building size or scale as viewed from a public street, new buildings or modifications to existing buildings shall be designed to maintain the existing pattern. If there is an established pattern of buildings with narrow facades on the street, a new building shall maintain this visual pattern by limiting the size of the street facade or by designing the facade to appear as a number of narrow facades or through other approaches.
 - (c) The design of buildings shall visually complement the district. The design of buildings shall also conform to the following standards:
 - [1] The facade facing the street shall be treated as a front facade. The facade shall incorporate pedestrian-scale design features such as doors and windows to create a character that complements the district. Windows or architectural treatments designed to simulate windows shall comprise no less than 20% of the exterior wall surface. The facade shall be designed to avoid large areas of blank wall space.
 - [2] Ground floor facades facing a public street must incorporate arcades, display windows, awnings, or other features to add visual interest to the building.

- [3] Buildings used for retail or other public uses shall be designed to have clearly defined entrances that are visually compatible with the visual character of the district.
- [4] Roofs shall be designed to complement visually the overall visual character of the district. A new building shall have a roofline that is similar to adjacent buildings if there is an established pattern of rooflines. If there is not an established pattern, new buildings shall have pitched or gabled roofs to the extent practical. If a pitched roof is not practical, false fronts or other design elements shall be used to create the appearance of a pitched roof. Accessory buildings, canopies, and other structures shall have rooflines that are visually compatible with the roofline of the principal building.
- [5] The treatment of accessory buildings and structures shall be compatible with the principal building and shall use similar materials, details, and level of trim.
- [6] New buildings with more than 5,000 square feet of first floor area shall be designed so that the building scale is visually compatible with the character of the district. The overall mass of the building shall be visually broken into smaller elements through the physical layout of the building and/or the design of the facades.

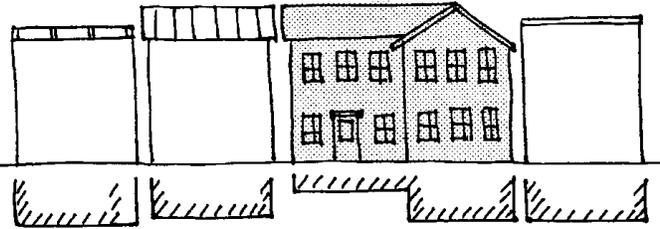
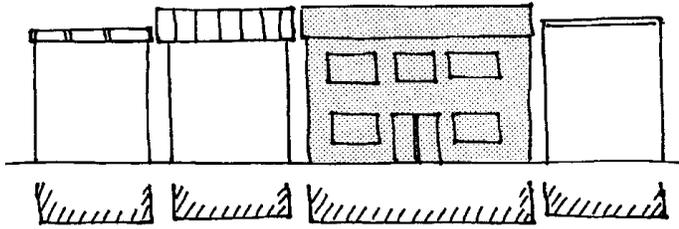
Inappropriate Treatment



Appropriate Treatment

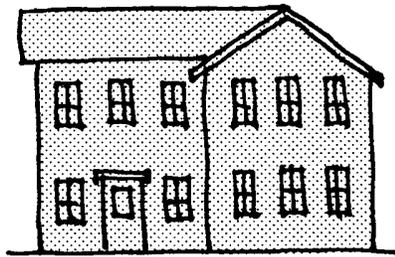
- (3) Proportionality of the front or street facade.
 - (a) The ratio of the width of the front or street facade to the building height shall complement the visual character of the district.
 - (b) Where an established pattern of facade proportion exists, new or modified buildings shall maintain the established pattern. If there is a pattern of tall, narrow buildings, a new building that is wider than it is tall is inappropriate unless the facade is broken into segments that maintain the established proportions.

Inappropriate Treatment



Appropriate Treatment

- (4) Proportionality of windows.
- (a) The ratio of the width of windows to the height of the windows shall complement the visual character of the district.
 - (b) Modifications to existing buildings shall maintain the existing proportionality. The modification of the facade of existing buildings to change or eliminate windows shall be done in a manner that maintains the established relationship of windows to wall. The "bricking up" of windows is discouraged unless the relationship can be maintained in other ways.
 - (c) Where an established pattern of window proportions exists among a group of buildings or along a block face, new or modified buildings shall maintain the established pattern.



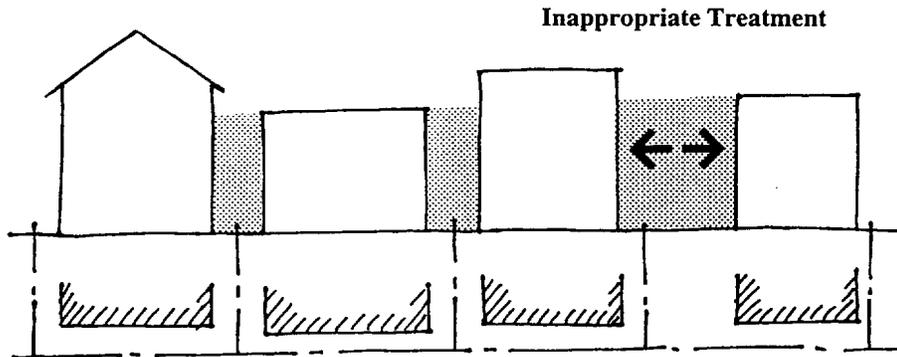
Appropriate Treatment



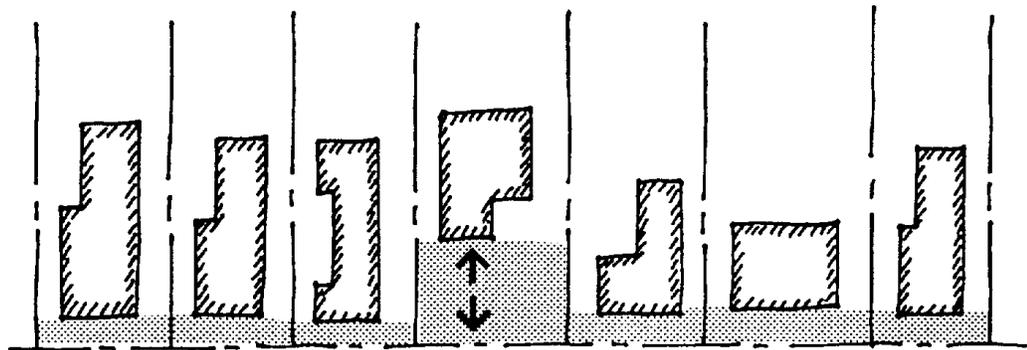
Inappropriate Treatment

- (5) Building spacing. In the ~~Downtown~~-Bar Harbor Village Area Districts, where an established pattern exists with respect to the placement of buildings on the lot vis-a-vis the lot lines, new or modified buildings shall reflect the established pattern to the extent allowed by the setback provisions of the district in which they are located. In an area where the existing buildings all extend the full width of the lot, constructing a new building so that it is set back from the lot line is not consistent with this guideline unless the setback is required to meet zoning requirements. **[Amended 11-**

3-2009; 6-8-2010]



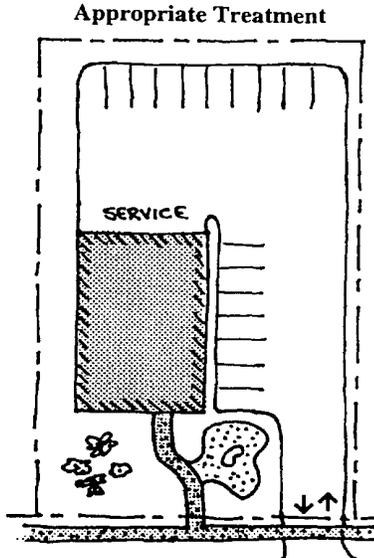
- (6) Relationship of the building to the street.
 - (a) The relationship of a new or modified building or structure with the street shall visually complement neighboring buildings, the overall character of the district, and other buildings to which it is visually related to the extent permitted by the setback requirements of the district in which it is located.
 - (b) Where there is an established front setback pattern, new buildings or structures shall be located to maintain the established pattern if permitted by the zoning requirements. If an established pattern does not exist, new buildings shall be located in a manner that is compatible with the overall character of the district. New or reconstructed buildings shall be located on the lot so that the building is set back from the street no more than the average of the setbacks for buildings in similar locations in the district.
 - (c) For buildings on corner lots, the setback relationship on both streets shall be maintained through the placement of buildings and other site features.



Inappropriate Treatment

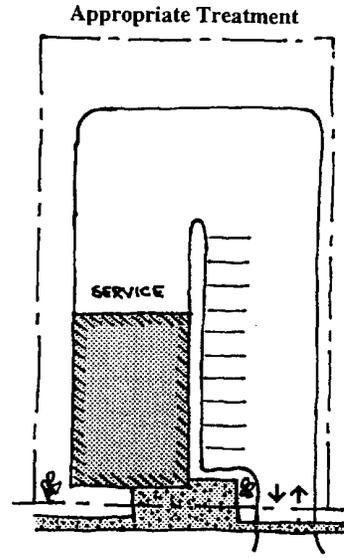
- (7) Pedestrian relationships and facilities.
 - (a) Where sidewalks exist in front of the parcel, the site shall be designed to provide for pedestrian access to the front entrance of the building without the need to cross parking areas or access drives.
 - (b) The walkway to the front entrance shall be constructed with materials which contrast with the paving of the vehicular areas, that provide a safe and inviting access to the building, and that are visually compatible with other pedestrian facilities in the neighborhood.

- (c) If a sidewalk along the street is interrupted or crossed by a proposed driveway, access road, or other vehicular facility, the sidewalk material must be maintained across the driveway or another visually compatible method used to clearly delineate the sidewalk from the drive.



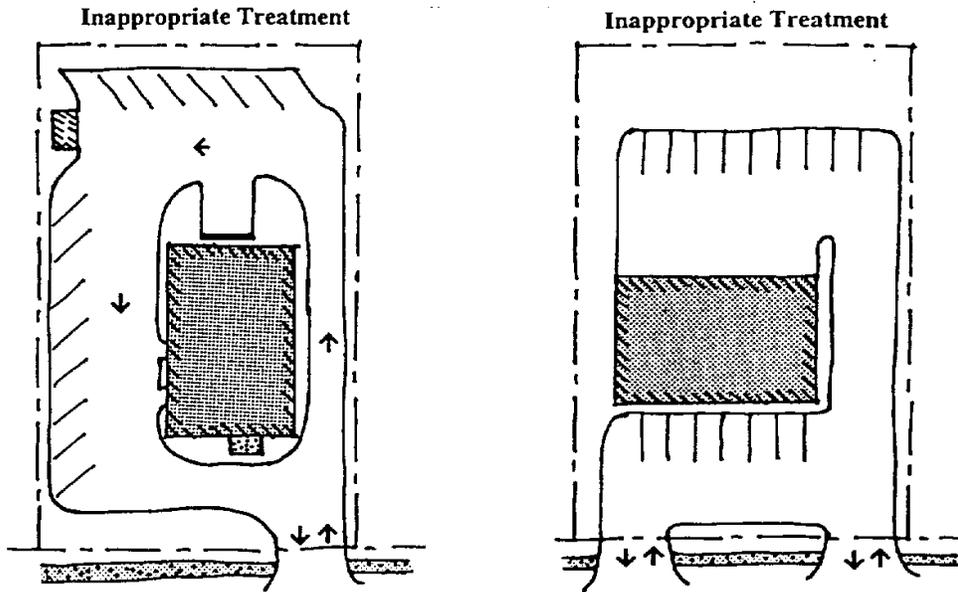
Positive Features

- Parking located to side and rear of building
- Sidewalk provided to front door
- Area in front of building used as pedestrian space
- Sidewalk material maintained across the driveway
- Service area located to rear and screened



Positive Features

- Parking located to side and rear building
- Pedestrian access directly to front of building
- Sidewalk material maintained across the driveway
- Service area located to rear and screened



Negative Features

- Access drive located between building and sidewalk
- No provision for pedestrian access to front of the building
- Service area visible from street
- Sidewalk material interrupted by driveway

Negative Features

- Parking located in front of building
- No provision for pedestrian access to front door
- Sidewalk material interrupted by driveways
- No pedestrian use between building and sidewalk

- (8) Motor vehicle facilities and services. The location and design of facilities for motor vehicles, including parking lots, driveways, access roads, drive-through facilities, and service and fueling areas, shall visually complement the overall character of the district. The design of the site shall also conform to the following standards:
- (a) Vehicular facilities shall not be located between the front of the building and the street.
 - (b) Access drives, driveways, and entrances or exits to drive-through services shall not pass between the building and the sidewalk where a sidewalk exists.
 - (c) Parking lots shall be located to the side or rear of the building.
 - (d) Overhead doors and service areas shall be located on the side or rear of the building and must be screened from view from a public street.
 - (e) Drive-through services shall be designed to keep vehicular activity to the side and/or rear of the building and shall prevent the queuing of vehicles between the front of the building and the street or in other areas where it is visually incompatible.
- (9) Multiple buildings on a lot in the Town Hill Village Area Business District. In the Town Hill Village Area Business District, the layout of buildings on a lot shall reflect the layout of other lots in the district with multiple buildings. The arrangement of the buildings should be visually compatible with the street and with the buildings on the lot. **[Added 11-3-2009]**

- (10) Viewshed in Town Hill Village Area ~~Business District~~. Building height and placement are subject to further review in the Town Hill Village Area ~~Business District~~ to determine any visual impacts to retain the vista along Route 102 from the Crooked Road intersection to the Pine Heath Road intersection. **[Added 11-3-2009]**
- C. Standards for materials and design details for structural projects. The following standards are intended to assure that proposals conform to the quality of design that has historically been associated with buildings within the district. The structural standards have been designed to promote compatibility with Bar Harbor's historic character and its scenic location. Certain types of design are inappropriate within the designated Design Review Overlay Districts since they will not meet these standards and thus do not enhance the existing visual character or preserve Bar Harbor's uniqueness. **[Amended 11-3-2009]**
- (1) Construction standards. With the advent of many new exterior materials, the standards are not intended to prohibit the use of all new materials. Therefore, any quality material that simulates traditional features will be evaluated on a case-by-case basis. The following standards apply to the construction of new buildings, additions to existing buildings, reconstruction, and major renovations:
- (a) Siding material.
- [1] Siding is applied as the exposed surface on the outside walls of buildings to provide a barrier against the penetration and infiltration of weather and at the same time enhance the visual and architectural quality of the structure in keeping with other buildings in the district. The selected siding should be visually compatible with other exterior finishes on the building and with those buildings to which it is visually related.
- [2] The siding used on the building should be a material that is in common use within the overlay district. The following are appropriate siding materials:
- [a] Clapboards/shiplap.
- [b] Shingles/shakes.
- [c] Stucco/concrete. Stucco with wood trim interruption (English Tudor) is acceptable. Concrete block and poured or precast concrete are acceptable for foundation and fire walls but are generally not appropriate for wall surfaces that can be seen from a public street. Masonry products designed to replicate other appropriate materials are acceptable siding.
- [d] Brick.
- [e] Stone.
- [f] Vinyl/metal siding. Vinyl or metal siding designed to replicate traditional siding material is appropriate but flat or corrugated metal or plastic panels are inappropriate as siding within the district.
- [g] In the Town Hill Village Area ~~Business District~~, barn board, and board and batten.
- [3] Unfinished plywood or composite flat sheet products ~~such as T-111~~ are not appropriate siding materials, except for areas that cannot be seen from a public street.
- (b) Exterior finishes. The exterior finish of a structure represents the final

completion stage. Although this stage is one of the simplest to alter, it is one of the most visible aspects of a building, therefore great care must be taken in the selection of the exterior finish for any structure. The following standards shall be used for determining acceptable finish choices:

- [1] The colors shall be based upon the architectural style of the structure as well as the period in which it was built;
- [2] The selected colors shall reflect hues and shades which were available in the era and style depicted;
- [3] The paint colors shall be harmonious to and blend in with the immediately adjacent structures in the area.

(c) Windows.

- [1] Windows are glassed openings in the exterior walls of buildings to admit light and air, allow for viewing, permit merchandise display, and to enhance the architectural beauty of the structure. The windows in a building shall be visually compatible. Almost any style is appropriate as long as the size is proportional to the building and maintains the architectural continuity of the building.
- [2] Materials are appropriate if they simulate traditional materials or are visually compatible with other components of the building.

(d) Doors and doorways (in the ~~Downtown~~ Bar Harbor Village Area Districts-only). **[Amended 6-8-2010]**

- [1] Doors are a means of safe and orderly entrance to and egress from buildings. As the entrance to the building, the front or main door is often the focal point of the principal facade. Therefore, care must be taken in designing the doorway and selecting a door that is visually compatible with the structure.
- [2] Doors and doorways shall conform to the following standards:
 - [a] Major store entrance doors shall be recessed from the property line so as not to interfere with pedestrian traffic when they are opened.
 - [b] Front doors shall have transoms above to the full height of store windows if this is consistent with the established pattern of other entrance doors.

(e) Roofing.

- [1] Roofing is intended to protect the horizontal portions of a building from the penetration and infiltration of weather while maintaining the architectural integrity of the structure. The roofing material and color, if visible from a public street, shall be selected to be visually compatible with the style of the building and the other exterior finishes and colors.
- [2] In the ~~Downtown~~ Bar Harbor Village Area Districts, brightly colored metal, plastic or fiberglass roofing is visually incompatible with the character of the district and therefore inappropriate. **[Amended 6-8-2010]**
- [3] Other materials are appropriate if it is demonstrated that they are visually compatible with the overall building and its environs.
- [4] In the ~~Downtown~~ Bar Harbor Village Area Districts, appropriate roof

colors include neutral shades such as earth tones, greys, and black. Bright or primary colors are not appropriate. **[Amended 6-8-2010]**

- (f) Trim.
- [1] Trim is the molded and projecting woodwork or stonework which frames a building and its changes in direction in an aesthetically pleasing or bold fashion. The trim shall be visually compatible with the style of the building and the other exterior finishes.
 - [2] The following materials are appropriate for use as trim: wood, stone, brick, vinyl, and metal.
 - [3] Other materials are appropriate if it is demonstrated that they are visually compatible with the overall building.
 - [4] Trim materials may be mixed and matched as long as the style and color of the trim are consistent and visually compatible with the other elements of the building.
- (g) Entrances.
- [1] In the ~~Downtown~~ Bar Harbor Village Area Districts, an entrance is much more than a doorway. It is a means of getting from the street to the front door and may include changes in grade, protection from the elements, and/or a degree of landscaping and lighting. The entrance to the building shall be visually compatible with the overall building treatment and should be the focal point of the facade. The entrance shall be designed and placed to have both a visual and functional relationship to the street and sidewalk. **[Amended 6-8-2010]**
 - [2] The following are appropriate design treatments for entrances: porticos, porches, decks, steps/ramps, and canopies/awnings. Awnings and canopies must be attached to the structure and shall function as an extension of the building. Freestanding accessory structures such as tents or canopies at the front of the building are incompatible with the existing visual character of the district and shall not be allowed. Standards for awnings and canopies are in a later section.
 - [3] The following are appropriate materials for use in entrances: wood, vinyl, tile, stucco, stone, brick, concrete, canvas, fiberglass, and metal.
 - [4] Other materials are appropriate if it is demonstrated that they are visually compatible with the overall building.
- (2) Relocation/demolition standards. The demolition or relocation of the building should occur in a timely manner. After the relocation or demolition has occurred, the lot must be cleared, graded, and replanted within 30 days of the completion of the work and maintained until the lot is reused.
- (3) Standards for seasonal closures.
- (a) The Town of Bar Harbor discourages the seasonal boarding up of businesses. No matter how much effort is put into making these closures look attractive, they give the Town the appearance of being shut down, which is detrimental not only to those businesses that remain open and to potential customers, but also to local citizens and guests who view them during the off-season. The Board strongly discourages the placement of closure treatments involving the covering of display windows before

- January 1.
- (b) Provisions for the seasonal closure of a business shall:
 - [1] Be visually compatible with the building.
 - [2] Be architecturally similar to the building materials, design, and color.
 - [3] Fit appropriately in the space being enclosed.
 - [4] Be safely and securely attached.
 - [5] Have a neat and clean appearance.
 - (c) The most appropriate approach to the seasonal closure of a business is for signs and window displays to remain in place. Where this is not possible or desirable, other appropriate approaches include leaving display spaces and windows empty, installing storm doors and windows, and installing wood panels or shutters over openings.
 - (d) Closure provisions that cover windows or display spaces with materials such as bed sheets, paper, tarps, cardboard, or bubble wrap or soaped or painted glass are inappropriate.
 - (e) Signs shall be left in place or removed. The covering or wrapping of signs with tarp or other plastic materials is not appropriate. The use of a canvas cloth covering the sign, and bearing the name of the business, is encouraged.
- D. Standards for materials and design details for accessory projects. The following standards apply to projects that do not involve the actual structure of the building but significantly impact upon the visual environment and the compatibility of the building with the character of district. Separate standards are provided for awnings, canopies, and umbrellas, outdoor displays, lighting, and landscaping. The accessory standards have been designed to promote compatibility with the district's historic character and its scenic location.
- (1) Standards for awnings, canopies, and umbrellas. The objective of the Town is to encourage property owners and businesses to make permanent improvements to the property in the district. Therefore, the use of temporary structures is discouraged. At the same time, the Board recognizes that awnings, canopies, and umbrellas can provide cover, add color, provide shade, and serve as a transition between the storefront and the upper facade in the case of awnings and canopies.
 - (a) General standards.
 - [1] Rigid or fixed awnings, sunscreens, umbrellas, or permanent canopies are not appropriate on any portion of the premises or building unless the proposed awning, sunscreen, umbrella, or permanent canopy is visually compatible with the building and its surrounding area considering the following:
 - [a] Its compatibility with the topography of the area.
 - [b] That it is customary and incidental to the activity being housed in the building or appropriate for that location due to unique circumstances.
 - [c] Its compatibility with similar elements of adjacent properties.
 - [d] That it is designed so that it will not cover unique or architecturally significant building features.
 - (b) Location and size of awnings and canopies.
 - [1] Awnings shall extend at least the full width of existing window and door

frames on the first floor.

- [2] Awnings on upper-floor windows shall be installed over individual windows and shall complement the window design, building architecture, and color.
- [3] Canopies or awnings shall be attached to the building and not extend more than 12 feet from the wall (toward the street) to which they are attached. In the case where an awning follows another existing wall of the building at right angles (such as an L or a U), it may extend out to the point where it is parallel with the portion of the building closest to the street.
- [4] Freestanding canopies or tents are inappropriate for ongoing use. Tents are appropriate for use for periods of not more than 72 hours with prior approval of the Code Enforcement Officer and shall only be used for appropriate outdoor functions, such as art shows, festivals, fairs, weddings, and similar events.
- [5] A street level awning shall be at least 18 inches behind the curb.

(c) Awning design.

- [1] Awning construction and materials offer different patterns and shapes. There are three basic shapes: 1/4 barrel, shed, and domes.
- [2] The design review standards are not intended to restrict the shape of awnings; however, the design shall be visually compatible with and maintain the character of the building. Side panels on awnings are discouraged but are permitted if they are graphically treated so as to make the panel compatible with the overall design of the building.

(d) Awning color. The color of the material, and any graphics, stripping, or pattern, shall be compatible with the building architecture, materials, and color.

(e) Awning materials.

- [1] The most common awning materials are canvas, vinyl, vinyl-coated canvas, and canvas-like synthetic materials. Glossy finish vinyl is not appropriate. Synthetic canvas is available in acrylics, polyesters, nylons, and other man-made materials. Any of these materials are appropriate.
- [2] Metal awnings and glass canopies detract from the historic character of the community and are not appropriate.

(f) Awning lighting. Lighting shall conform to the requirements in § 125-67Z, Lighting Ordinance. [Amended 6-9-2009]

(2) (Reserved)

(3) Landscaping standards. The landscaping standards are intended to maintain and enrich the character and beauty of the Town through the regulation of landscaping which provides aesthetically pleasing scenery, shelter and food for wildlife, natural boundaries and buffers for people, and the control of erosion. The landscaping in conjunction with the construction of a new building or an addition to existing buildings, or major landscaping projects that significantly alter the exterior appearance of a building that is used in whole or in part for nonresidential purposes, is subject to approval by the Design Review Board.

(a) Materials.

[1] Materials and types of vegetation for landscaping are too numerous to list and most are acceptable; however, the material chosen shall be visually compatible with the building.

[2] The use of invasive species as listed by the University of Maine Cooperative Extension is discouraged. **[Added 11-3-2009]**

- (b) Design. The design of the landscape should enhance the appearance of the building as well as the grounds. Landscaping shall not block unique architectural features of the building or appear disproportional to the lot and building size.
 - (c) Town Hill ~~Village Area Business District~~ plantings shall include street tree plantings. Parking areas shall be screened from Route 102. Shrubs and other materials shall enhance the buildings. All other requirements in § **125-67H** shall be followed. **[Added 11-3-2009]**
- E. Standards for historic buildings. The standards, as applicable in the opinion of the Design Review Board, outlined in the United States Secretary of the Interior's Standards for the Treatment of Historic Properties, as most recently updated, shall apply to all preservation measures, demolition, relocation and renovations of buildings and structures classified as historic in accordance with § **125-112D(1)**. Additionally, the following standards apply: **[Amended 11-2-2004]**
- (1) Preservation of an historic building. A building or structure classified as historic, or any part or appurtenance, including but not limited to stone walls, fences, light fixtures, steps, paving, and signs, shall only be moved, reconstructed, altered, or maintained in a manner which will preserve the historic and architectural character of the building, structure or appurtenance. Provisions for handicapped access as required by state and federal law shall be provided in a manner which preserves the historic and architectural character of the building or structure.
 - (2) Demolition of an historic building. The Design Review Board shall approve the issuance of a certificate of appropriateness for the demolition of an historic building only if the property owner shows that the preservation of the building is not consistent with the purposes of this article, that the building cannot be preserved because of the structural condition of the building, or the cost of renovations makes its retention infeasible.
 - (3) Relocation of an historic building. The Design Review Board shall approve the issuance of a certificate of appropriateness for the relocation of an historic building to another site only if it is shown that the preservation on its existing site is not consistent with the purposes of this article, that the building cannot be preserved because of the structural condition of the building, or the cost of renovations makes the retention infeasible.
 - (4) Renovation or expansion of an historic building.
 - (a) The design review requirements are intended to preserve and protect, improve, and enhance the historic or architecturally worthy buildings, structures, sites, monuments, streetscapes, squares and neighborhoods of the district. Those buildings classified as historic possess identified historic or architectural merit of a degree warranting their preservation. Any building designated as historic shall retain all of its original features to the maximum extent feasible. Modifications or additions shall

- (b) maintain the architectural style and treatment of the original building. The following standards shall apply to the renovation or expansion of an historic building:
 - [1] All materials shall match the original materials in texture, dimension, color, location, and design.
 - [2] Existing features such as porches, steps, handrails, balusters, cornices, columns, lintels, windows, fixtures, hardware, doors, and roofs shall be retained.
 - [3] The design of any modification of or addition to the existing building shall maintain the architectural style of the existing building and shall conform to the existing treatment with respect to trim and exterior finishes.
 - [4] Handicapped access shall be located and constructed so as not to obscure character-defining features of the entranceway or porch.
 - [5] Porches and steps shall not be enclosed in a manner that destroys their intended appearance.
 - [6] The selected paint colors shall be consistent with Subsection

C(1)(b).

F. Other standards. **[Added 11-3-2009]**

(1) ~~Reserved. Town Hill Business District.~~

(a) ~~A visual impact assessment shall be submitted to the Board to review the impacts from the development on the viewshed from Route 102 in a southwesterly direction.~~

(b) ~~Building placement.~~

~~[1] Multiple buildings on a lot shall be arranged such that the smallest portion of a building, or the smallest building as proposed, shall be along the street.~~

~~[2] A principal building on a lot shall be arranged such that the narrowest width of the building faces the street.~~

Attachment 4 – Appendix A – Historic Properties in the Design Review Overlay District

Tax Map/ Lot #	Historic Name	Address	Present Name	Date Built	Significance
103-012-000	Villa Mary (<u>home only</u>)	77 Eden Street	Villa Mary	1879-80	National Register property
103-015-000	Bagatelle (<u>home, guest house, & carriage house only</u>)	75 Eden Street	Bagatelle	1883, <u>1904</u>	National Register property
103-016-000	Fenwold	6 Harbor Lane	Fenwold	1891	National Register property

<u>103-051-000</u>	<u>The Farm House (home and tool shed, caretaker's house, & garage only)</u>	<u>15 Highbrook Road</u>	<u>Main House</u>	<u>c. 1920, 1929</u>	<u>National Register property</u>
104-002-000	The Breezes	125 West Street	The Breezes	1896	National Register property
104-003-000	Greenlawn	123 West Street	Greenlawn	1887	National Register property
104-004-000	Saltair	121 West Street	Saltair	1887	National Register property
104-005-000	The Tides	119 West Street	The Tides	1887	National Register property
104-007-000	The Sunset	115 West Street	The Sunset	1911	National Register property
104-009-000	The Bar Harbor Club	111 West Street	The Bar Harbor Club	1929-30	National Register property
104-009-000	Guelph	111 West Street	Rosebriar	c. 1875	National Register property
104-032-000	Blanchfield House	37 Eden Street	Blanchfield House	c. 1865	Architectural/historical
104-033-000		41 Eden Street	Caruso Residence	c. 1890	Architectural/historical
104-037-000	The Crossways	4 Holland Avenue	The Crossways	1901	National Register property
104-038-000	Westfield	120 West Street	Westfield	1901	National Register property
104-039-000	Maisonette	118 West Street	Maisonette	1886	National Register property
104-040-000	Chantier	116 West Street	Chantier	1887	National Register property
104-041-000	The Kedge	112 West Street	The Kedge	c. 1870	National Register property
104-058-000	Bar Harbor High School	93 Cottage Street	Bar Harbor Municipal Building	1907-08	Architectural/historical
104-061-000	Robert Hodgkins residence	69 Cottage Street	Cottage on Cottage		Architectural
104-068-000	Petunia Cottage	110 West Street	Petunia Cottage	1877	National Register property
104-069-000	Foster Cottage	108 West Street	Foster Cottage	1878	National Register property
104-070-000	Boscobel	106 West Street	Sand Bar Cottage	1887	National Register property

104-092-000	Dr. Norton's Office	67 Cottage Street	MDI Dental Arts		Architectural
104-097-000	Thankful Cottage	1 Billings Avenue	Thankful Cottage	c. 1850	Architectural
104-112-000	U.S. Post Office	55 Cottage Street	U.S. Post Office	1909	National Register property
104-121-000		17 Main Street	Galyn's	c. 1892	Architectural
104-137-000		23 Cottage Street	Cadillac North Face	c. 1900	Possible National Register district
104-139-000		29 Cottage Street	Cadillac AG	c. 1910	Possible National Register district
104-140-000	Criterion Theatre	35 Cottage Street	Criterion Theatre	1932	National Register property
104-141-000	Odd Fellows Hall	39 Cottage Street	Odd Fellows Hall	c. 1937	Local landmark
104-157-000	Haraden residence	130 Cottage Street	2 Cats	c. 1884	Architectural
104-237-000		73 Mt. Desert Street	Primrose Inn	c. 1878	Architectural
104-238-000	Ash Cottage	69 Mt. Desert Street	Mira Monte Inn	1864	Architectural
104-244-000	H.A. Brown Furniture	74 Cottage Street	Salon NATURELLES Brasserie Le Brun		Architectural
104-254-000	Christian Science Church	57 Mt. Desert Street	White Columns Inn	1937	Architectural/ historical
104-255-000	Stonethrow	67 Mt. Desert Street	Stonethrow	c. 1860	Architectural
104-268-000	American Legion Hall	70 Cottage Street	American Legion Hall	c. 1928	Architectural/ historical
104-297-000		47 Mt. Desert Street	Thornhedge Inn	1900	Architectural
104-317-000		39 High Street	Stratford House Inn	1900	Architectural
104-318-000	St. Saviour's Church and Rectory	41 Mt. Desert Street	St. Saviour's Church and Rectory	1877-1938	National Register property
104-326-000	Central House	60 Cottage Street	Central House	1887	Architectural/ historical
104-342-000	Bar Harbor Congregational Church	29 Mt. Desert Street	Bar Harbor Congregational Church	1951	Architectural/ historical

104-355-000		46 Cottage Street	Rosalie's	c. 1900	Architectural
104-372-000		14 Cottage Street	Pink Pastry Shop	c. 1889	Possible National Register district
104-373-000		8 Cottage Street	Merchant & Frye		Architectural
104-383-000	Emery Block Building	103 Main Street	Bar Harbor Savings & Loan Assn.	c. 1900	Architectural
104-386-000	Lyford Woodard Building	109 Main Street	Bar Harbor Law Offices	c. 1887	Architectural/ historical
104-387-000	F.H. Moses Florist Shop	113 Main Street	Sand Beach Surf Co.	1904	Architectural
104-392-000	Bar Harbor Police Station	38 Rodick Street	Coston & McIsaac	c. 1900	Architectural/ historical
104-401-000	Comfort Station	Firefly Lane	Information Building		Architectural/ historical
104-401-000	Bar Harbor Fire Station	Firefly Lane	Bar Harbor Fire Station	1911	Architectural/ historical
104-403-000	Village Green (bandstand, clock, fountain)	Main and Mt. Desert	Village Green	various	Local landmark
104-413-000		74 Mt. Desert Street	Holbrook House Inn	c. 1876	Architectural
104-419-000	Holy Redeemer Roman Catholic Church	56 Mt. Desert Street	Holy Redeemer Roman Catholic Church	1907	Architectural/ historical
104-432-000	Y.W.C.A.	36 Mt. Desert Street	Y.W.C.A.	1913	Local landmark
104-433-000	Jesup Memorial Library	34 Mt. Desert Street	Jesup Memorial Library	1911	Architectural/ historical <u>National Register property</u>
104-450-000	YMCA	26 Mt. Desert Street	Abbe Museum	1899	Local landmark <u>National Register property</u>
104-481-001	McKay Cottages	227 Main Street	McKay's Restaurant		Architectural
104-492-000		194 Main Street	Ivy Manor		Architectural
104-493-000		166 Main Street	Window Panes		Architectural
104-497-000	Butterfields	154 Main Street	Sailor & Hook		Architectural/ historical

104-504-000	Pine and Palm (original facade only)	134 Main Street	Acadia Corporation	c. 1883	Architectural/ historical
104-507-000	Sproul's Cafe	128 Main Street	Ward Building	1880	National Register property
104-509-000	Bee's Candy	116 Main Street	Hemporium	c. 1880	Architectural/ historical
104-510-000	Caleb's	112 Main Street	The Barnacle	c. 1900	Architectural
104-512-000	First National Bank (original building only)	102 Main Street	First National Bank		Architectural/ historical
104-519-000	Grant Building	80 Main Street	Dali's Jewelry <u>The Beehive</u> <u>General Store</u>	1897	Architectural/ historical
104-523-000	The Mount Desert Reading Room (original reading room only)	8 Newport Drive	Bar Harbor Inn	1887	Architectural/ historical
104-525-000	Morrison Building	62 Main Street	The Stadium	1897	Architectural/ historical
104-528-000	Sherman's Bookstore	56 Main Street	Sherman's Bookstore		Architectural
104-530-000	Agamont Park fountain	3 Newport Drive	Agamont Park fountain		Local landmark
104-531-000	Bar Harbor Banking & Trust	82 Main Street	Bar Harbor Banking & Trust	1887	Architectural/ historical
105-001-000	Bass Cottage	14 The Field	Bass Cottage Inn	1885	Possible National Register district
105-002-000	Ullikana	16 The Field	Ullikana	1885	Possible National Register district
107 219-000	Bangor Hydro Building	18 Edgewood Street	Bangor Hydro Building		Architectural/ historical
108-005-000	Edgar Morang Residence	278 Main Street	Project Social	1924	Architectural
108-068-000	Bar Harbor Water Co.	337 Main Street	Anchor Space	1895	Architectural
Signs					
104-125-000	Geddy's Pub Moose	19 Main Street	Geddy's Pub Moose		Local landmark
104-140-000	Criterion Theatre marquee	35 Cottage Street	Criterion Theatre marquee	1932	National Register property

104-384-000	West End Drug stained glass	105 Main Street	West End Drug stained glass		Architectural/ historical
104-512-000	First National Bank clock sign	102 Main Street	First National Bank clock sign		Architectural/ historical
104-531-000	Bar Harbor Banking & Trust awning sign	82 Main Street	Bar Harbor Bank & Trust awning sign	1887	Architectural/ historical

Appendix B
Locally Significant Properties in
Design Review Overlay District

Map/Lot Number Address
Common Name

- 104-521-000 66 Main Street
Ben & Bill’s Chocolate Emporium
- 104-402-000 119 Main Street
Rupimimi’s (Old Mary Jane Building)
- 102-004-000 1 West Street
Harbor Place
- 104-131-000 53 Main Street
Bayside Landing/Testa’s
- 104-024-000 124 Cottage Street
Porcupine Grill
- 103-051-000 15 Highbrook Road

Recommendations:

The seven-member Planning Board recommends adoption by a vote of 6 to 0.
The 15-member Warrant Committee recommends adoption by a vote of 11 to 0.



The polls will be open from 8:00 a.m. until 8:00 p.m. on Tuesday, June 11, 2024 for election of Town officers and referendum. Absentee ballots will be processed on Saturday, June 8, 2024 starting at 9:00 a.m., or immediately following a requested inspection, and on Election Day every hour on the hour starting at 9:00 a.m.

The last day to request an absentee ballot is Thursday, June 6.

The Registrar of Voters of the Town of Bar Harbor hereby gives notice that she or her designee will be at the Municipal Offices on Monday through Friday from 8:30 a.m. to 5:00 p.m., except holidays, and during poll hours on Election Day for the registration of persons desiring to register for this election. To register to vote, residents must provide proof of identity and proof of physical residence address, not a post office box. A Maine driver’s license with current physical address satisfies both requirements.

Given under our hands this sixteenth day of April 2024.

Municipal Officers of the Town of Bar Harbor

_____	_____
Valerie Peacock, Chair	Gary Friedmann, Vice Chair
_____	_____
Matthew A. Hochman	Joseph Minutolo
_____	_____
Kyle Shank	Maya Caines

Earl Brechlin

Attest:

A true copy _____
Town Clerk of Bar Harbor, ME

CONSTABLE’S RETURN

By virtue of the within Warrant to me directed, I have warned and notified the inhabitants of the Town of Bar Harbor to assemble at the time and place and for the purposes therein named by posting attested copy of the within Warrant on the Bulletin Board, Municipal Offices, being conspicuous public place within said Town on the _____ day of _____ in the year Two Thousand and Twenty-four.

Attest: _____

Constable of the Town of Bar Harbor

Attest: A true copy _____

Town Clerk of Bar Harbor, ME

