

**Cover Page
for Thursday October 9, 2025,
Design Review Board Meeting**

*Project Information is available at https://www.barharbormaine.gov/271/Design-Review-Board	Material Issued	Issued on 10/3/2025
ITEMS		
Cover page with date	✓	
October 9, 2025, Meeting Agenda	✓	
Minutes for approval: <ul style="list-style-type: none"> • September 11, 2025 	✓	
Applications: <ul style="list-style-type: none"> • Certificate of Appropriateness Application: DRB-2025-23 	✓	

**Town of Bar Harbor
Agenda — Design Review Board
Thursday, October 9 at 4:00 PM
93 Cottage Street
Bar Harbor, Maine**

I. CALL TO ORDER

II. EXCUSED ABSENCES

III. ADOPTION OF AGENDA

IV. APPROVAL OF MINUTES

- a. September 11, 2025

V. PUBLIC COMMENT

To make comment, please email designreview@barharmoraine.gov (goes to all board members and town staff)

VI. BUILDING PERMIT REMINDERS

VII. REGULAR BUSINESS

a. Certificate of Appropriateness

Application: 2025-23

Applicant/Owner: Bethany Leavitt / Town of Bar Harbor

Project Location: 138 West Street, Bar Harbor, ME 04609. Map/Lot 104-013-000

Proposed Project: Replacement of the existing West Street Pump Station and emergency generator within a Town easement, involving construction of a new building to house the municipal wastewater pumping station equipment.

VIII. OTHER BUSINESS

- a. **DRB Amendment Workshop to follow DRB Meeting**

IX. BOARD MEMBER COMMENTS AND SUGGESTIONS FOR THE NEXT AGENDA

X. ADJOURNMENT

**Town of Bar Harbor
Minutes — Design Review Board
Thursday, September 11 at 4:00 PM
93 Cottage Street
Bar Harbor, Maine**

I. CALL TO ORDER

The meeting was called to order at 4:00PM. Present were Chair Erin Cough, Vice-chair Barbara Sassaman and member Bo Jennings.

There was discussion of the quorum needed to continue with the meeting as the board has seven members with only five current sitting members. Chair Cough made the motion to proceed with three members, Vice-chair Sassaman seconded, and the motion passed 3-0.

II. EXCUSED ABSENCES

Pancho Cole was excused, and Andrea Lepcio was granted an emergency excused absence.

III. ADOPTION OF AGENDA

Bo Jennings moved to adopt the agenda and Barbara Sassaman seconded, the motion passed 3-0.

IV. APPROVAL OF MINUTES

a. August 14, 2025

Vice-chair Sassaman made the motion to accept the minutes with corrections, Bo Jennings seconded, and the motion passed 3-0.

V. PUBLIC COMMENT

There was none.

VI. BUILDING PERMIT REMINDERS

Chair Cough reminded the applicant to apply for and receive a building permit for any of the activities approved at the meeting.

VII. REGULAR BUSINESS

a. Certificate of Appropriateness

Application: 2025-22

Applicant/Owner: Rick and Gail Leiser

Project Location: 65 Kebo Street, Bar Harbor, ME 04609. Map/Lot 104-400-000

Proposed Project: Renovation of existing building, including new windows and siding.

Member Bo Jennings informed the board that he is employed at neighboring businesses that abuts the applicant. After a brief discussion the board took no action as there was no conflict.

The board asked several questions relating to windows, siding and shingles.

Vice-chair Sassaman moved to approve application 2025-22 as submitted, Member Jennings seconded, and the motion passed 3-0.

VIII. OTHER BUSINESS

a. DRB Amendment Update

The Board received documents for the September 25, 2025 workshop.

IX. BOARD MEMBER COMMENTS AND SUGGESTIONS FOR THE NEXT AGENDA

There were none.

X. ADJOURNMENT

Vice-chair Sassaman move to adjourn the meeting at 4:12PM, member Jennings seconded, and the motion passed 3-0.

Andrea Lepcio, Secretary

Date

Design Review Board, Town of Bar Harbor



**Town of Bar Harbor
Design Review Board Application —
Certificate of Appropriateness**

DRB Application Number:

Date: 09/25/2025

Map & Lot: 104 & 13

RECEIVED SEP 25 2025

Project Address: 138 West Street, - Municipal Wastewater Lift Station

Applicant Name: Bethany Leavitt **Address: 93 Cottage Street**
City: Bar Harbor **State: Maine**
Email: pwdirector@barharbor
Phone: 207-288-1026

Town of
Property Owner Name: Bar Harbor **Address: 50 Public Works Way**
City: Bar Harbor **State: Maine**
Email: pwdirector@barharbor
Phone: 207-288-1026

Architect/Designer Name: **Address:**
City: **State:**
Email:
Phone:

TYPE OF PROJECT

- Demolition or Relocation of Historic Building
- Changes to Exterior Appearance of Historic Building
- Construction of New Building or Expansion of Nonhistoric Building
- Installation or Changes in an internally illuminated sign or awning
- Changes to Exterior Appearance of Nonhistoric Building
- Installation or Changes in Outdoor Storage/Display/Vending Machines
- Installation or Changes in fences and freestanding walls

FEE

Project Cost: \$ TBD

- \$ 31.00 for Residential and Commercial projects less than 1 million.
- \$ 66.00 Commercial projects more than 1 million

PLEASE BE ADVISED: A building permit must be obtained prior to the construction and/or installation. Contact the Code Enforcement Office with any questions regarding the building permit process at (207) 288-3329


Signature of Applicant

NOTE: Applications are due 14 days in advance of the next regularly scheduled Design Review Board meeting.

Signature of Owner (if different from Applicant)

**Town of Bar Harbor
Design Review Board
Required Application Materials
Section 125-114**

Brief Project Description:

Please provide a brief description of the project. Municipal sewer pump station is being reconstructed with a new building to house upgraded pump and electrical control.

The existing freestanding generator is being replaced with an appropriately sized freestanding emergency generator. This is part of the Combined Sewer Overflow (CSO) in accordance with the Priority Infrastructure Bond.

Road Frontage: 50 feet on West St. Open Seasonally Open Year Round

Existing facility to remain operational during construction.

ALL Applications must include:

Please provide materials in the order listed below and check the "provided?" column.

Requirement	Note: Please see attached sheets	Provided?		Reserved for Planning Staff Review
		Y	N	
1	NARRATIVE —Description of the building's use, location, setbacks, adjacent structures, dimensions, materials, colors, etc.	Y		
2	PHOTOS OF EXISTING BUILDING —color photographs or simulations of the existing building, structure, or site showing all facades that can be seen from the public street.	Y		
3	PHOTOS OF ADJACENT PROPERTIES —color photographs or simulations of the adjacent buildings to the subject property, including those across the street and next door. These photos should depict setbacks from the street, building heights, front façade proportions, building scaping and materials, and existing patterns and relationships.	Y		
4	DETAILED PLANS —Drawings, photos, or simulations of proposed changes that are planned for the property. This should depict all sides of the new structure that will be visible from the road.	Y		
5	SCALED SITE PLAN —Scaled drawing, photo, or simulation of the site showing all proposed and existing structures , including fences, buildings, storage areas, etc. This site plan should take required property setbacks into account.	Y		
6	MATERIALS —Details of all external materials, including type, color and composition. Paint chips or product samples shall be provided for each addition.	Y		
7	LIGHTING —Details of any new or proposed changes to lighting and lighting levels.	Y		

If NO was selected in the above table for any of the requirements, please describe why it was not included.

**Town of Bar Harbor
Design Review Board
Required Application Materials
Section 125-114**

Are you Demolishing or relocating a historic building?

No Yes

If no, you have completed the application.

If yes, please provide the documents requested in the table below.

Required Submittals for Demolition or Relocation of a Historic Building ONLY:

In addition to the table on page 2, please provide materials in the order listed below and check the "provided?" column

Requirement	Provided?		Reserved for Planning Staff Review
	Y	N	
1 STATEMENT FROM DESIGN PROFESSIONAL —Please provide a statement from an engineer or architect outlining the structural condition of the building, the condition of the building systems, and issues with the renovation or use of the building that affect the feasibility of renovation or relocating the building.			
2 MSHP NOTIFICATION —Please provide written evidence that the Maine State Historic Preservation Office and local historical organizations have been notified of the application for a Certificate of Appropriateness to demolish the building and copies of any correspondence with or from these groups.			

If NO was selected in the provided section for any of the requirements above, please describe why it was not included.

138 West Street – Dry Weather Pump Station Project

1. **NARRATIVE** - This project will replace the existing West Street Pump Station and generator with new facilities. The proposed facilities include a new below grade wastewater wetwell with above grade building. The building will house the operational equipment and control for the Wastewater Pumping Station. For clarity, the existing wastewater pumps and controls are below grade. The construction will take place within the easement granted to the Town in 1973. The building will be single story, approximately 20 foot by 20 foot overall footprint with gambrel style roof. The site will also have a new emergency generator to keep this critical Town infrastructure operational in the event of power failure.
2. **PHOTOS OF EXISTING BUILDING** - color photographs or simulations of the existing building, structure, or site showing all facades that can be seen from the public street.

Addresses within 300 feet of project site: (**Address, Zoning, Owner**)

1 Harbor Lane, Village Historic, COUGH, RICHARD

3 Harbor Lane, SHORELAND LTD RESIDENTIAL, COUGH, JOSEPH M

7 Harbor Lane, Blank, BLANCHARD, JAMES A III

127 West Street, SHORELAND LTD RESIDENTIAL, BAR HARBOR HISTORICAL SOCIETY, INC

130 West Street, VILLAGE HISTORIC, LEWIS-CLAPPER, R CASKIE TRUSTEE, CLAPPER, GERARD F TRUSTEE

134 West Street, Blank, CLAPPER, GERARD F TRUSTEE, LEWIS-CLAPPER, RUTH C TRUSTEE

138 West Street, (Project Site, Easement on 45 Eden St)

145 West Street, SHORELAND LTD RESIDENTIAL, MAHANEY, LANCE D & Patricia H

3 Cadillac Avenue, DOWNTOWN VILLAGE II, COLLEGE OF THE ATLANTIC

2 Cadillac Avenue, DOWNTOWN VILLAGE II, 121 COTTAGE LLC

37 EDEN STREET, VILLAGE HISTORIC, GOODRICH, KEITH N

41 EDEN STREET, Blank, 41 EDEN STREET LLC

45 EDEN STREET, SHORELAND LTD RESIDENTIAL, SIPPLE ELIZABETH ANN TRUSTEE & SIPPLE-CALDER TRUST

40 EDEN STREET, VILLAGE RESIDENTIAL, EDEN STREET LLC

3 EAGLE LAKE ROAD, VILLAGE RESIDENTIAL, BAR HARBOR, TOWN OF

138 West Street – Dry Weather Pump Station Project



Figure-1 138-West Street Lift Station – Emergency Generator and Pump Vault are visible in background (behind car)

3. PHOTOS OF ADJACENT PROPERTIES—color photographs or simulations of the adjacent buildings to the subject property, including those across the street and next door. These photos should depict setbacks from the street, building heights, front façade proportions, building scaping and materials, and existing patterns and relationships.

138 West Street – Dry Weather Pump Station Project



Figure-2 Bar Harbor Historical Society

138 West Street – Dry Weather Pump Station Project



Figure-3 Bar Harbor Historical Society - Storage Building

138 West Street – Dry Weather Pump Station Project



Figure 4 45-Eden Street (front)

138 West Street – Dry Weather Pump Station Project



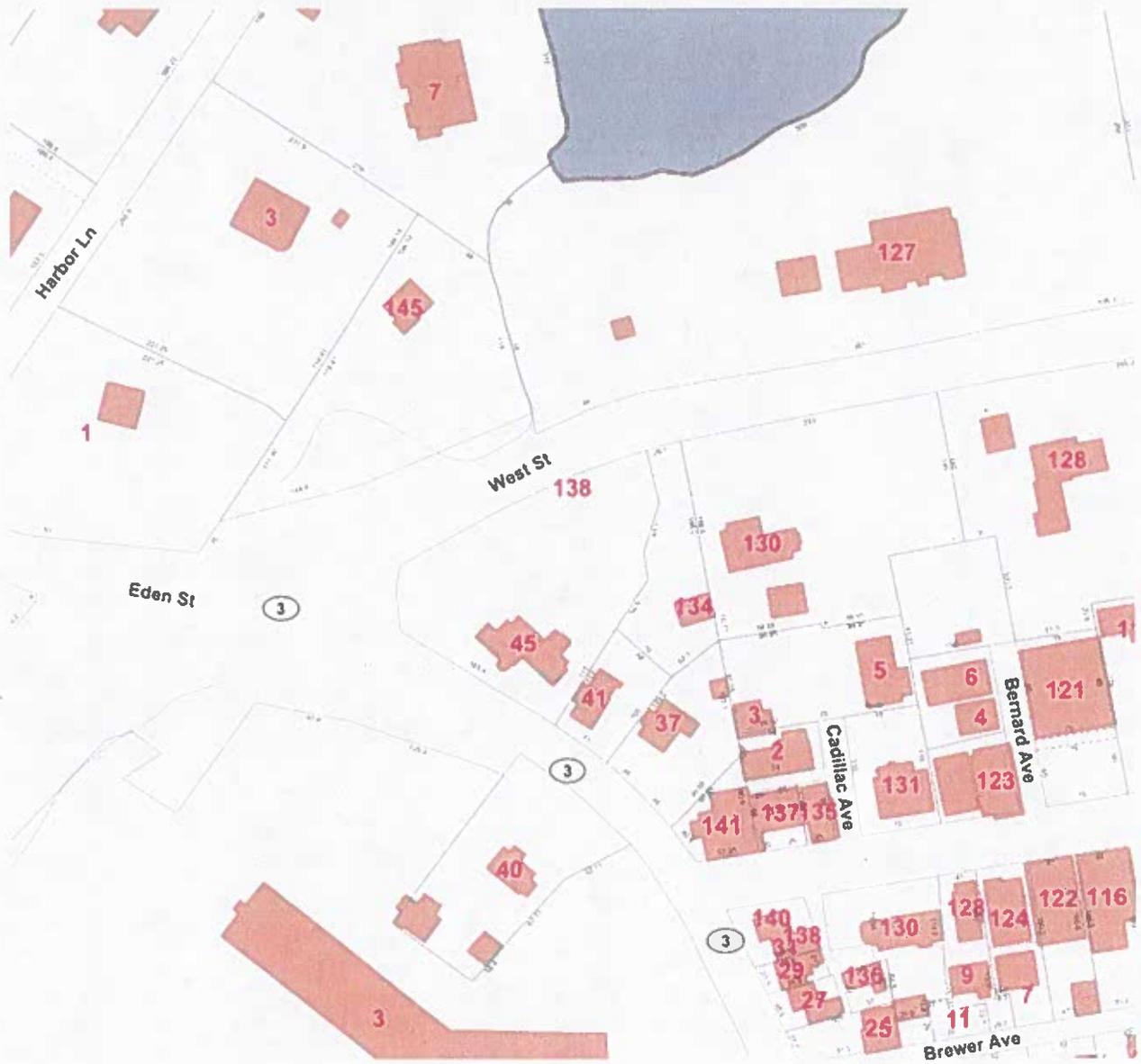
Figure 5 45-Eaden Street (rear view of home)

4. **DETAILED PLANS** - Drawings, photos, or simulations of pro-posed changes that are planned for the property. This should depict all sides of the new structure that will be visible from the road. See attached plan set.
5. **SCALED SITE PLAN** - See attached plan set.
Scaled drawing, photo, or simulation of the site showing all proposed and existing structures, including fences, buildings, storage areas, etc. This site plan should take required property setbacks into account.
6. **MATERIALS** - See attached plan set. Details of all external materials, including type, color and composition. Paint chips or product samples shall be provided for each addition.

138 West Street – Dry Weather Pump Station Project

7. **LIGHTING** - There will be external security lights that are motion activated.

138 West Street – Dry Weather Pump Station Project



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**Town of Bar Harbor
Design Review Board
Findings for Deliberations Checklist**

Section 125-114 – Design Review Standards:

In reviewing an application for a certificate of appropriateness, the DRB shall approve the issuance of a certificate if it finds the application and proposed activities are consistent with the following standards, or that they will be consistent as a result of conditions of approval imposed on the application.

In reviewing applications the Board shall consider the appropriate sections of each of the following categories and shall find the project in conformance with all relevant provisions before approving the issuance of a certificate of appropriateness.

The Board finds that the proposal meets:	Yes	No	N/A
a. Standards relating to visual compatibility	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Standards for materials and design details for structural projects	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Standards for materials and design details for accessory projects	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Standards for signs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Standards for historic buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Standards of Visual Compatibility:

The proposal must meet each of the following requirements, as applicable, in order to meet the Visual Compatibility standards of Section 125-114(B):

	Yes	No	N/A
1. The height of a new building, addition, or a modification to an existing building would be visually compatible with adjacent buildings as seen from public streets.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Where there is an established pattern of building height, the height, or apparent height, of a new, expanded, or modified building as seen from the public street would maintain a complementary pattern.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The size and mass of a building in relationship to the site and surrounding features would visually complement the buildings, squares, and places to which it is visually related.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Where there is an established pattern of building size or scale as viewed from a public street, the addition of a new building, or modification to an existing building, would be designed to maintain the existing pattern.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. The design of the building would visually complement the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. The façade facing the street would incorporate pedestrian-scale design features such as doors and windows to create a character that complements the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Windows, or architectural treatments designed to simulate Windows, would comprise no less than 20% of the exterior wall surface.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. The façade would avoid large areas of blank wall space.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. A ground floor façade facing a public street would incorporate arcades, display windows, awnings, or other features that add visual interest to the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. A building used for retail or other public uses would be designed to have clearly defined entrances that are visually compatible with the visual character of the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. The roof would be designed to complement the overall visual character of the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. If there is an established pattern of rooflines, a new buildings roofline would be similar to adjacent buildings.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- b. If there is not an established roofline pattern, the new building would have a pitched or gabled roof, or false front, or other design element which would create the appearance of a pitched roof.
- c. Accessory buildings, canopies, and other structures would have a visually compatible roofline with the principal building.
- 9. Treatment to the accessory building and structures would be compatible with the principal building and would use similar materials, details, and level trim.
- 10. A new building with more than 5,000 square feet of area on the first floor would be designed so that the scale is visually compatible with the character of the district.
- a. The overall mass of the building would be visually broken into smaller elements through the physical layout of the building and/or design of the façade.
- 11. The ratio and width of the front or street façade to the building height would complement the visual character of the district.
- 12. If an established pattern of façade proportions exists, a new or modified building would maintain the established pattern.
- 13. The ratio of the width of windows to the height of the windows would complement the visual character of the district.
- 14. A modification to an existing building would maintain the existing proportionality.
- 15. A modification to an existing façade which would change or eliminate windows would be done in a manner that maintains the established relationship of windows to wall.
- 16. A new or modified building would maintain an established pattern of window proportions among a group of buildings
- 17. If an established pattern exists with respect to the placement of buildings on the lot vis-à-vis the side lot lines, a new or modified building would reflect the established pattern to the extent allowed by the setback provisions of the district in which they are located.
- 18. A new or modified building or structure would visually complement

neighboring buildings, the overall character of the district, and any other buildings to which it is visually related to the extent permitted by the setback requirements of the district in which it is located.

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 19. If there is an established front setback pattern, a new building would be located to maintain the established pattern. If no there is no pattern, a new building would be located in a manner that is compatible with the overall character of the district. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. A new building would be located on a lot so that the setback from the street is no more than the average of the setbacks for buildings in similar locations in the district. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 21. If located on a corner lot, the setback relationship on both streets would be maintained. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 22. If a sidewalk exists in front of the parcel, the site would be designed to provide for pedestrian access to the front entrance of the building without the need to cross parking areas or access drives. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 23. The walkway to the front entrance of the building would be constructed with materials that would contrast with the paving of areas intended for vehicular travel. The walkway would also provide safe and inviting access to the building that is visually compatible with other pedestrian facilities in the neighborhood. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 24. If a sidewalk along the street is interrupted or crossed by a proposed driveway, access road, or other vehicular facility, the sidewalk material would be maintained across the driveway, or another visually compatible method used to clearly delineate the sidewalk from the drive. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 25. The location and design of facilities for motor vehicles, including parking lots, driveways, access road, drive-through facilities, and service/fueling areas would visually complement the overall character of the district. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| a. The vehicular facility would not be located between the front of the building and the street. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. The access drive, driveway, entrance/exit to drive-through services would not pass between the building and the sidewalk where a sidewalk exists. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

- c. A parking lot would be located to the side or rear of a building.
- d. Overhead doors and service areas would be located on the side or rear of the building and would be screened from view from a public street
- e. Drive-through services would be designed to keep vehicular activity to the side and/or rear of the building and would prevent the queuing of vehicles between the front of the building and the street or in other areas where it is visually incompatible.

Standards for Materials and Design Details for Structural Projects:

The proposal must meet each of the following requirements, as applicable, in order to meet the Standards for Materials and Design Details for Structural Projects in Section 125-114(C):

	Yes	No	N/A
1. Siding materials that enhance the visual and architectural quality of the structure would be applied. The selected siding would also be visually compatible with other exterior finishes on the building and with those buildings to which it is visually related.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. The siding would be of a material that is commonly used in the overlay district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The color of the exterior finish would complement the architectural style of the structure as well as the period it was built. The colors would also reflect hue and shades which were available in the era and style depicted, and the colors would blend with the immediately adjacent structures in the area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. The style and size of the windows would be proportional and visually compatible to the buildings in the overlay district and would maintain the architectural continuity of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. The window would be constructed of wood, vinyl or lead, or would be of synthetic material that simulates such traditional materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. The door would be visually compatible with the structure.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. The primary entry door to a store would be recessed from the property line so as that it does not interfere with pedestrian traffic.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. If consistent with the established pattern of other entrance doors, the door would have a transom above the full height of the store windows.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. If visible from the public street, the roof would be visually compatible with the style of the building and the other exterior finishes and colors.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. If visible from the street, the roof would not be brightly colored metal, plastic, or fiberglass.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. The trim would be visually compatible with the style of the building and other exterior finishes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. The trim would be made from materials such as wood, stone, brick, vinyl, and metal, or other synthetic materials that appear as such and are compatible with the overall building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- 13. The entrance to the building would be visually compatible with the overall building treatment and would be the focal point of the façade.
- 14. An awning or canopy would be attached to the structure and would function as an extension of the building and shall be compatible with the visual character of the district.
- 15. The entrance materials would be made of wood, vinyl, tile, stucco, stone, brick, concrete, canvas, fiberglass, and metal (or other materials that are visually compatible with the overall building).

Standards for Seasonal Closures:

- 1. Measures for seasonal closure would be compatible with the building and architecturally similar to the building materials, design, and color.
- 2. The measures would also fit appropriately in the space being enclosed and would be safely attached and secured.
- 3. The measures for seasonal closure would be neat and clean in appearance.
- 4. The closure provisions would not include materials such as bed sheet, paper, tarps, cardboard, bubble wrap, or painted glass.
- 5. Signs left in place would not be covered.

Standards for Materials and Design Details for Accessory Projects:

The proposal must meet each of the following requirements, as applicable, in order to meet the Standards for Materials and Design Details for Accessory Projects in Section 125-114(D):

	Yes	No	N/A
Awnings, Sunscreens, and Canopies			
1. The awning, sunscreen, or canopy would be visually compatible with the building and its surrounding area with respect to topography.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. The awning, sunscreen, or canopy would be necessary given the unique circumstances of the property, and would be compatible with similar elements of adjacent properties and is	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The awning, sunscreen or canopy would be designed so that it will not cover unique or architecturally significant building features.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Letter or graphics on the awning or canopy would be placed on a valance of no more than 12 inches attached to the awning bar.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. The graphics on an awning or canopy or valance would comply with signage requirements of Section 125-66(BB)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. The awning would extend the full width of the existing window and door frames on the first floor.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Awnings proposed on the upper-floor would be installed over individual windows and would complement the window design, building architecture, and color.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Canopies or awnings would be attached to the building and would not Extend more than 12 feet from the wall to which they are attached.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. A street level awning would be at least 18 inches behind the curb.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. The color of an awning would be compatible with the overall design of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscaping			
1. Landscaping materials and vegetation would be visually compatible with the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Landscaping would not block unique architectural features of the building or appear disproportional to the lot and building size.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Standards for Historic Buildings:

The proposal must meet each of the following requirements, as applicable, in order to meet the Standards for Historic Buildings in Section 125-114(E):

	Yes	No	N/A
1. If a building or structure classified as historic would be moved, reconstructed, or altered it would be maintained in a manner which would preserve the architectural character of the building, structure or appurtenance.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Demolition would be necessary as the owner has produced evidence that the preservation of the building is not consistent with the purposes of Section 125-114(E), or that the building cannot be preserved because of the structural condition of the building, or the cost of renovations would make its retention infeasible.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The structure would be relocated to another site if the existing site is not consistent with the purposes of Section 125-114(E), and the building cannot be preserved because of the structural condition of the building or the cost of renovations would make retention of the building infeasible.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Any modification to a historic building would retain all of its original features to the maximum extent feasible. Any modifications would also maintain the architectural style and treatment of the original building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. When renovating or expanding a historic building the materials would match the original materials in texture, dimension, color, location and design.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Existing features such as porches, steps, handrails, balusters, cornices, columns, lintels, windows, fixtures, hardware, doors, and roofs would be retained.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. The design or any modification or addition to the existing building would maintain the architectural style of the existing building and would conform to the existing treatment with respect to trim and exterior finishes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Handicapped access would be located and constructed so as not to obscure the character defining features of the entranceway or porch.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Porches or steps would not be enclosed in a manner that destroys their intended purpose.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. The selected paint colors would be consistent with Subsection C(1)(b).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

MISCELLANEOUS PAYMENT RECPTH: 599906
TOWN OF BAR HARBOR
93 COTTAGE STREET

BAR HARBOR, ME 04609

DATE: 09/26/25 TIME: 10:11:57
CLERK: jallen DEPT:
CUSTOMER#:

PARCEL: 138 WEST

CHG: REVBD REVIEW BOARD FE 66.00

AMOUNT PAID: 66.00

PAID BY: GILBERT, SARAH
PAYMENT METH: CREDIT CARD

REFERENCE: GILBERT, SAR

AMT TENDERED: 66.00
AMT APPLIED: 66.00
CHANGE: .00

Permit #: 250030

Permit Type: Design Review Board

Address: 50 PUBLIC WORKS WAY

City: Bar Harbor

State: ME

Zip: 04609

Owner: BAR HARBOR, TOWN OF

Owner Address: 93 COTTAGE STREET SUITE I

Owner City: BAR HARBOR

Owner State: ME

Owner Zip: 04609-1443

Owner Phone: 207-288-3329

Owner Email:

Receipt #: 79

Date: 09/26/2025

Paid By: Sarah Gilbert

Description:

Payment Type: Card

Payment Type Description: paid in finance

Accepted By: Jay Collier

Fees Paid

Fee Name	Fee Type	Description	Factor	Total Fee Amount	Amount Paid
Large Commercial	Design Review Board	More than 1 million	0.00	66.00	66.00
				Total:	\$66.00



WST LED

Architectural Wall Sconce



Catalog Number

Notes

Type

RECEIVED
 OCT 02 2025
 TOWN OF DAR HARBOR MAINE
 PLANNING & CODE ENFORCEMENT

Specifications

Luminaire

- Height:** 8-1/2" (21.59 cm)
- Width:** 17" (43.18 cm)
- Depth:** 10-3/16" (25.9 cm)
- Weight:** 20 lbs (9.1 kg)



Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD

Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package	27K 2700 K	VF Visual comfort forward throw	MVOLT ¹ 277 ²	Shipped included (blank) Surface mounting bracket PBBW Premium surface-mounted back box ¹⁴ Shipped separately BBW Surface-mounted back box ¹
	P2 3,000 Lumen package	30K 3000 K	VW Visual comfort wide	120 ² 347 ²	
	P3 6,000 Lumen package	40K 4000 K		208 ² 480 ²	
		50K 5000 K		240 ²	

Options		Finish (required)
NLTAIR2 PIR	nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights ^{1,4,7}	DDBXD Dark bronze
NLTAIR2 PIRH	nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights ^{1,4,7}	DBLXD Black
PE	Photoelectric cell, button type ⁴	DNAXD Natural aluminum
PER	NEMA twist-lock receptacle only (controls ordered separate) ⁹	DWHXD White
PER5	Five-wire receptacle only (controls ordered separate) ⁹	DSSXD Sandstone
PER7	Seven-wire receptacle only (controls ordered separate) ⁹	DDBTXD Textured dark bronze
PIR	Motion/Ambient Light Sensor, 8-15' mounting height ^{1,4}	DBLBXD Textured black
PIR1FC3V	Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{1,4}	DNATXD Textured natural aluminum
PIRH	180° motion/ambient light sensor, 15-30' mounting height ^{1,4}	DWHGXD Textured white
PIRH1FC3V	Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{1,4}	DSSTXD Textured sandstone
SF	Single fuse (120, 277, 347V) ³	
DF	Double fuse (208, 240, 480V) ³	
DS	Dual switching ⁶	
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) ¹¹	
E7WH	Emergency battery backup, Non CEC compliant (7W) ⁷	
E7WC	Emergency battery backup, CA Title 20 Noncompliant (cold, 7W) ^{7,13}	
E7WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 7W) ^{7,13}	
E20WH	Emergency battery pack 18W constant power, Certified in CA Title 20 MAEDBS ⁷	
E20WC	Emergency battery pack -20°C 18W constant power, Certified in CA Title 20 MAEDBS ^{7,14}	
E23WHR	Remote emergency battery backup, CA Title 20 Noncompliant (remote 20W) ^{7,14}	
LCE	Left side conduit entry ⁵	
RCE	Right side conduit entry ⁵	
BAA	Buy America(n) Act Compliant	
Shipped separately		
RBPW	Retrofit back plate ⁸	
VG	Vandal guard ¹⁵	
WG	Wire guard ¹⁵	

See Accessories and Notes on next page.



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WST-LED
 Rev. 01/19/23

Accessories

Ordered and shipped separately.

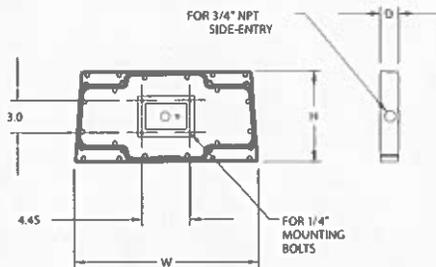
WSTVCPBBW DD&XD U	Premium Surface - mounted back box
YFSBBW DDBTXD U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate
DLL127F 1.5 JU	PhotoCell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	PhotoCell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	PhotoCell - SSL twist-lock (480V) ¹⁷

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see accessories information.
- Top conduit entry standard.
- Not available with VG or WG. See PER Table.
- Reference Motion Sensor table.
- Not available 347/480. E7WC or E23WHR, only available 120 or 277.
- Need to specify 120, 208, 240 or 277 voltage.
- PhotoCell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Not available with Emergency options, PE or PER options.
- DMG option not available with standalone or networked sensors/controls.
- Battery pack rated for -20° to 40° C.
- Comes with PBBW.
- Warranty period is 3-years.
- Not available with BBW.
- Must order with fixture, not an accessory.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table.

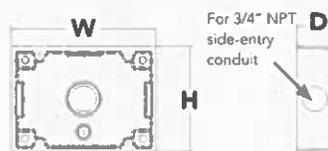
Optional Back Box (PBBW)

Height:	8.49" (21.56 cm)
Width:	17.01" (43.21 cm)
Depth:	1.70" (4.32 cm)



Optional Back Box (BBW)

Height:	4" (10.2 cm)
Width:	5-1/2" (14.0 cm)
Depth:	1-1/2" (3.8 cm)



Emergency Battery Operation

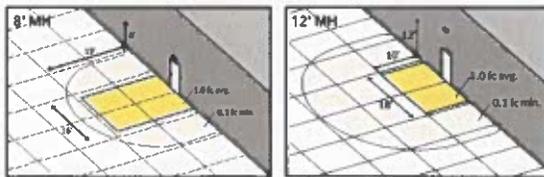
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of [NFPA 70/NEC 2008 - 700.16](#)

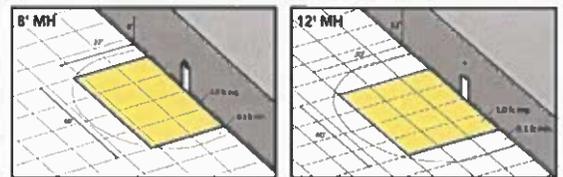
The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per [International Building Code Section 1006](#) and [NFPA 101 Life Safety Code Section 7.9](#), provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Electrical Load

Performance package	System Watts	Current (A)					
		120	208	240	277	347	480
P1	11	0.1	0.06	0.05	0.04	—	—
	14	---	---	---	---	0.04	0.03
P1 DS	14	0.12	0.07	0.06	0.06	—	—
	25	0.21	0.13	0.11	0.1	—	—
P2	30	---	---	---	---	0.09	0.06
	25	0.21	0.13	0.11	0.1	—	—
P3	50	0.42	0.24	0.21	0.19	—	—
	56	---	---	---	---	0.16	0.12
P3 DS	52	0.43	0.26	0.23	0.21	—	—

Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.92	>0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Ramp-up Time	Dwell Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ SFC	3 sec	5 min	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	3 sec	5 min	5 min

*for use with site wide Dusk to Dawn control

PER Table

Control	PER (3 wire)	PERS (5 wire)			PER7 (7 wire)		
		Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7			
Photocontrol Only (On/Off)	✓	⚠	⚠	⚠	Wired to dimming leads on driver	Wires Capped inside fixture	
ROAM	⊘	✓	⚠	⚠	Wired to dimming leads on driver	Wires Capped inside fixture	
ROAM with Motion	⊘	⚠	⚠	⚠	Wired to dimming leads on driver	Wires Capped inside fixture	
Futureproof*	⊘	⚠	✓	✓	Wired to dimming leads on driver	Wires Capped inside fixture	
Futureproof* with Motion	⊘	⚠	✓	✓	Wired to dimming leads on driver	Wires Capped inside fixture	

- ✓ Recommended
- ⊘ Will not work
- ⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Performance Package	System Watts (HVOLT ²)	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
			P1	12W	VF	1,494	0	0	0	125	1,529	0	0	0	127	1,639	0	0	0	137	1,639	0
		VW	1,513	0	0	0	126	1,548	0	0	0	129	1,659	0	0	0	138	1,660	0	0	0	138
P2	25W	VF	3,163	1	0	1	127	3,237	1	0	1	129	3,469	1	0	1	139	3,468	1	0	1	139
		VW	3,201	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0	140
P3	50W	VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132
		VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1	134



COMMERCIAL OUTDOOR

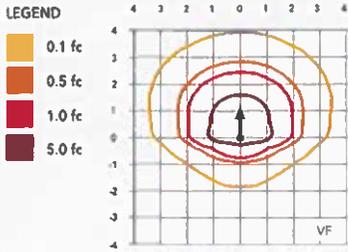
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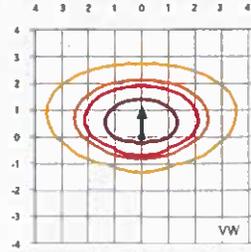
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [WST LED homepage](#).

Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').

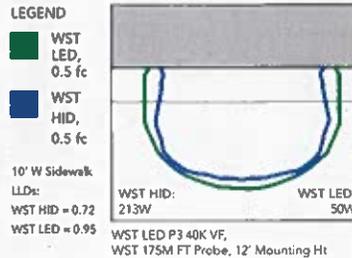


Test No. 30965P32 tested in accordance with IESNA LM-79-08



Test No. 31115P32 tested in accordance with IESNA LM-79-08

Distribution overlay comparison to 175W metal halide



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 98 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions

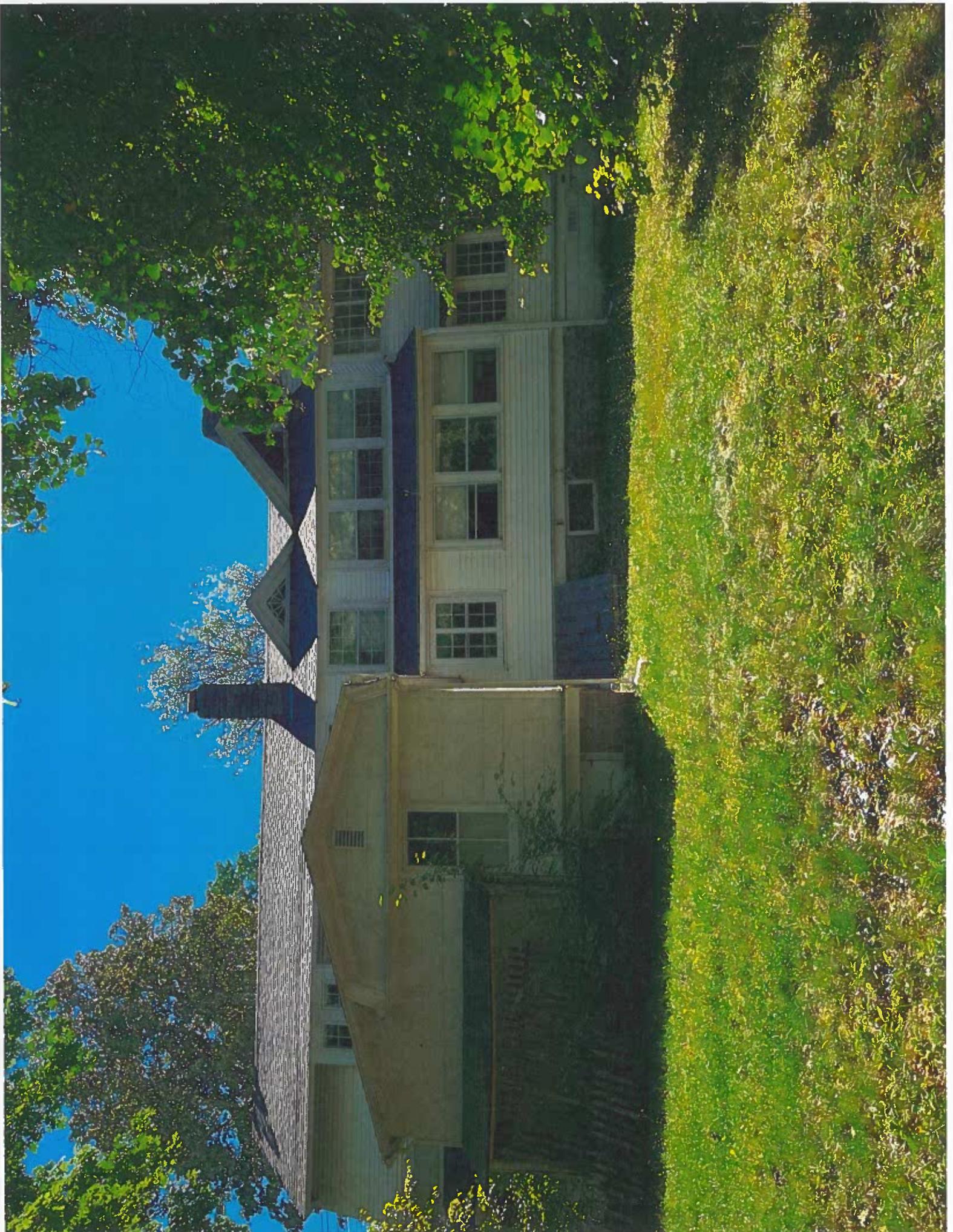
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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WST-LED
Rev. 01/19/23





West Street Dry Weather Pump Station Project

Lift Station Building:

- Adhered Stone Veneer to match exposed rear foundation wall on existing home depicted below:
- Siding color: White to match vinyl siding on existing home.

Lot 13, Tax Map 104

(45 Eden Street – Sipple-Calder Trust)



WEST STREET DRY WEATHER PUMP STATION PROJECT

ISSUED FOR PERMITTING ONLY

FOR THE TOWN OF BAR HARBOR, HANCOCK COUNTY, MAINE

AUGUST 2025

CONTACTS

OWNER/DEVELOPER:
TOWN OF BAR HARBOR PUBLIC WORKS DEPARTMENT
50 PUBLIC WORKS WAY
BAR HARBOR, ME 04809
BETHANY LEAVITT, P.E., DIRECTOR OF PUBLIC WORKS

DESIGNER:
JACOBS
120 SAINT JAMES AVENUE, 5TH FLOOR
BOSTON, MA 02116



JAMES SMITH
TOWN OF BAR HARBOR MANAGER



LOCATION MAP
NTS

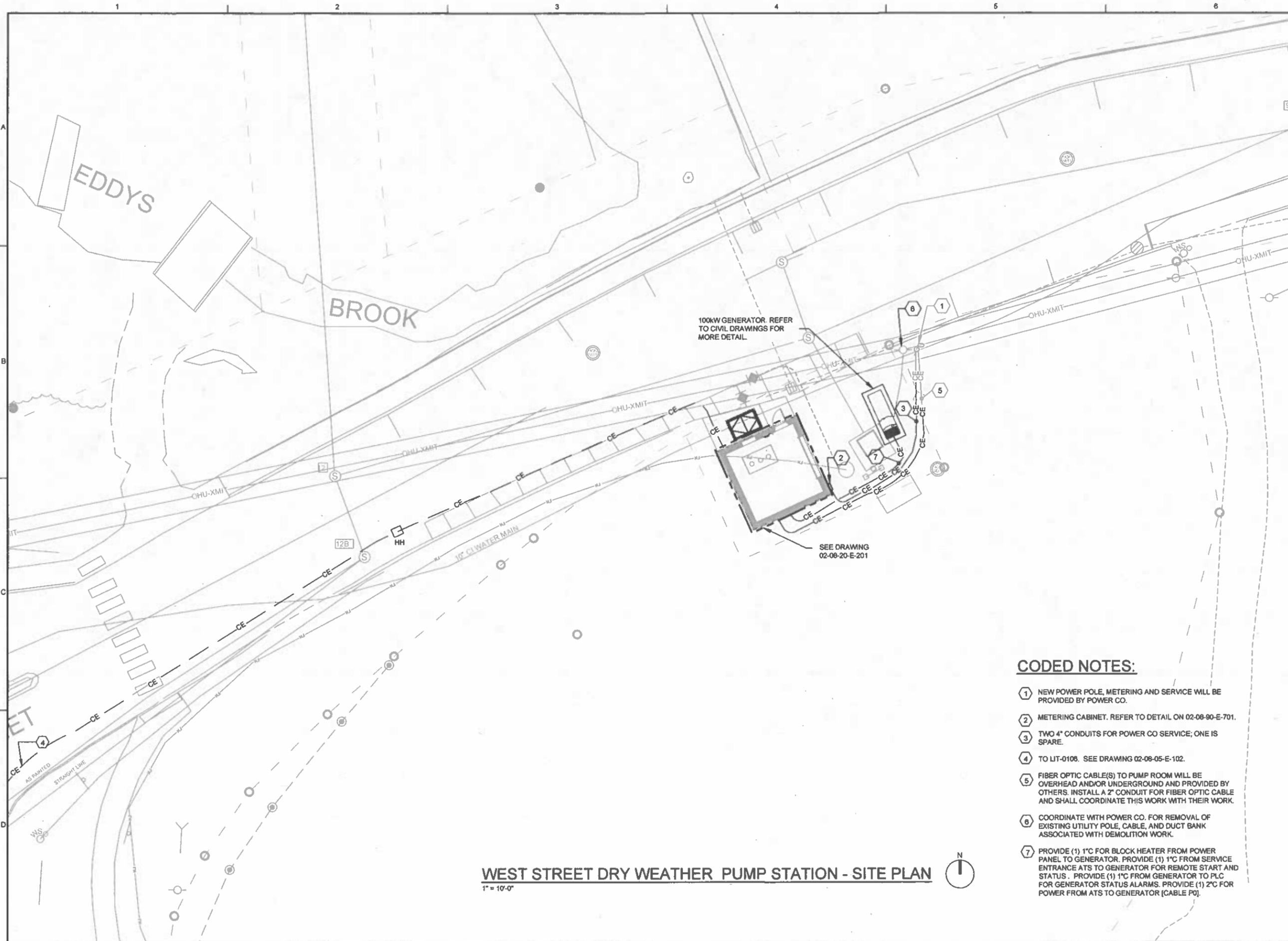


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120 SAINT JAMES AVENUE 5TH FLOOR BOSTON, MA 02116		WEST STREET DRY WEATHER PUMP STATION TOWN OF BAR HARBOR DEPARTMENT OF PUBLIC WORKS BAR HARBOR, MAINE	
JACOBS		GENERAL COVER SHEET	
NOT TO SCALE VERIFY SCALE BAR = ONE INCH ON ORIGINAL DRAWING 0 1"			
DATE	AUGUST 2025		
PROJ	E2X91801		
DWG	02-01-01-G-000		
SHEET	1 of 101		
REVISION		DR	APVD
NO. DATE		M. SCHMITZ	R. MCCOY
DSGN		M. SCHMITZ	J. DEBARRIERE
CHK			
BY			
APVD			

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100kW GENERATOR. REFER TO CIVIL DRAWINGS FOR MORE DETAIL.

SEE DRAWING 02-09-20-E-201

WEST STREET DRY WEATHER PUMP STATION - SITE PLAN
 1" = 10'-0"



CODED NOTES:

- ① NEW POWER POLE, METERING AND SERVICE WILL BE PROVIDED BY POWER CO.
- ② METERING CABINET. REFER TO DETAIL ON 02-09-90-E-701.
- ③ TWO 4" CONDUITS FOR POWER CO SERVICE; ONE IS SPARE.
- ④ TO LIT-0108. SEE DRAWING 02-08-05-E-102.
- ⑤ FIBER OPTIC CABLE(S) TO PUMP ROOM WILL BE OVERHEAD AND/OR UNDERGROUND AND PROVIDED BY OTHERS. INSTALL A 2" CONDUIT FOR FIBER OPTIC CABLE AND SHALL COORDINATE THIS WORK WITH THEIR WORK.
- ⑥ COORDINATE WITH POWER CO. FOR REMOVAL OF EXISTING UTILITY POLE, CABLE, AND DUCT BANK ASSOCIATED WITH DEMOLITION WORK.
- ⑦ PROVIDE (1) 1" C FOR BLOCK HEATER FROM POWER PANEL TO GENERATOR. PROVIDE (1) 1" C FROM SERVICE ENTRANCE ATS TO GENERATOR FOR REMOTE START AND STATUS. PROVIDE (1) 1" C FROM GENERATOR TO PLC FOR GENERATOR STATUS ALARMS. PROVIDE (1) 2" C FOR POWER FROM ATS TO GENERATOR [CABLE PG].

NO.	DATE	DR	CHK	REVISION	BY	APVD

120 SAINT JAMES AVENUE
 5TH FLOOR
 BOSTON, MA 02116

WEST STREET DRY WEATHER PUMP STATION
 TOWN OF BAR HARBOR
 DEPARTMENT OF PUBLIC WORKS
 BAR HARBOR, MAINE

Jacobs

ELECTRICAL

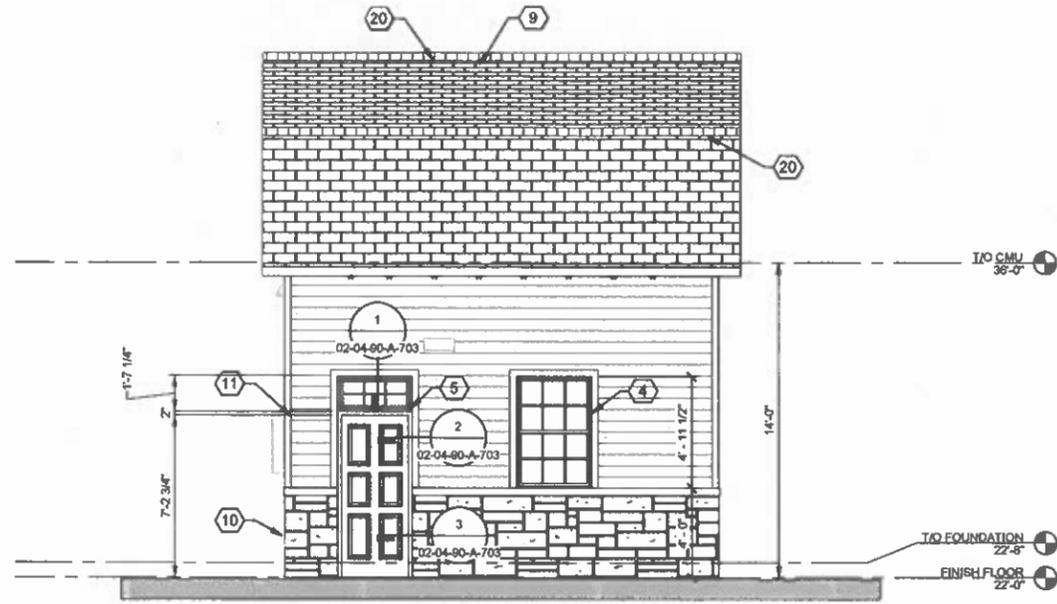
SITE PLAN
 (SHEET 1 OF 2)

1" = 10'
 VERIFY SCALE
 BAR IS ONE INCH ON ORIGINAL DRAWING

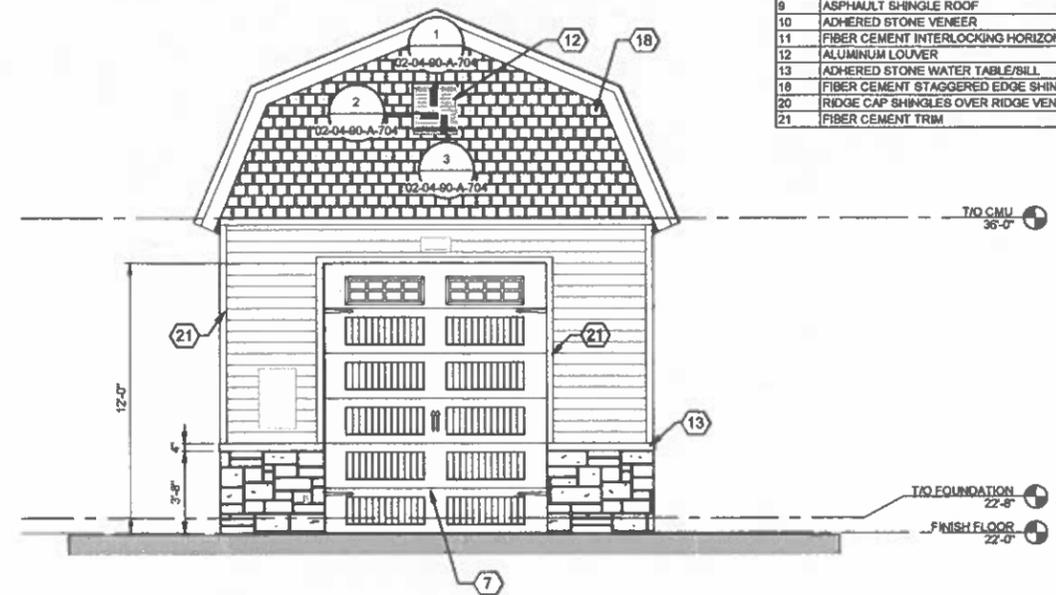
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PROJ	E2X91801
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SHEET	84 of 101

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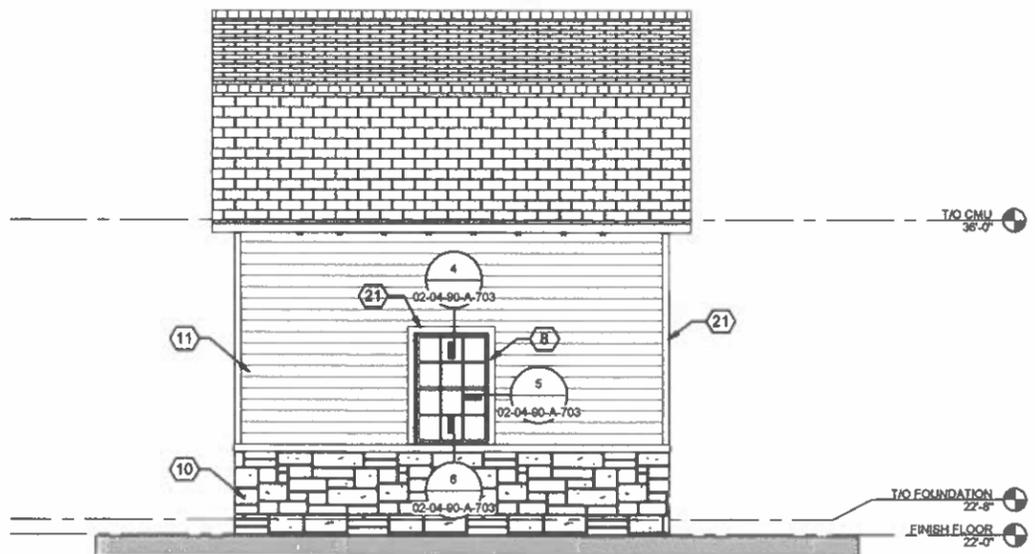
KEYED NOTES:	
4	VINYL FRAMED WINDOW WITH MUNTINS
5	STEEL 9-PANEL DOOR WITH TRANSOM ABOVE
7	CARRIAGE STYLE SECTIONAL OVERHEAD DOOR
8	VINYL FRAMED WINDOW WITH MUNTINS AND BLACK TINT FILM
9	ASPHALT SHINGLE ROOF
10	ADHERED STONE VENEER
11	FIBER CEMENT INTERLOCKING HORIZONTAL LAP SIDING
12	ALUMINUM LOUVER
13	ADHERED STONE WATER TABLE/SILL
18	FIBER CEMENT STAGGERED EDGE SHINGLE SIDING
20	RIDGE CAP SHINGLES OVER RIDGE VENT
21	FIBER CEMENT TRIM



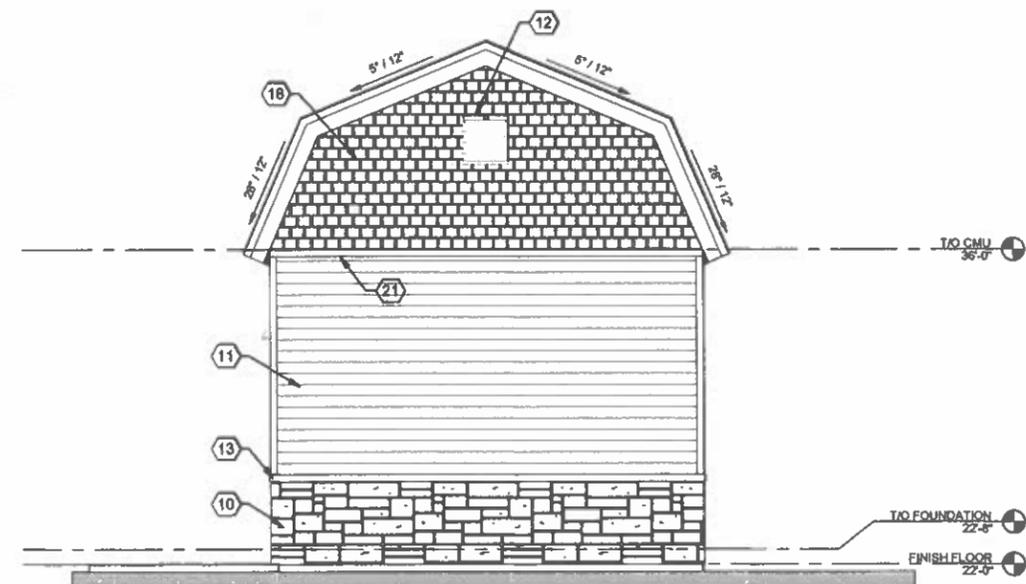
1 NORTH ELEVATION
02-04-30-A-201 1/4" = 1'-0"



2 EAST ELEVATION
02-04-30-A-201 1/4" = 1'-0"



3 SOUTH ELEVATION
02-04-30-A-201 1/4" = 1'-0"



4 WEST ELEVATION
02-04-30-A-201 1/4" = 1'-0"

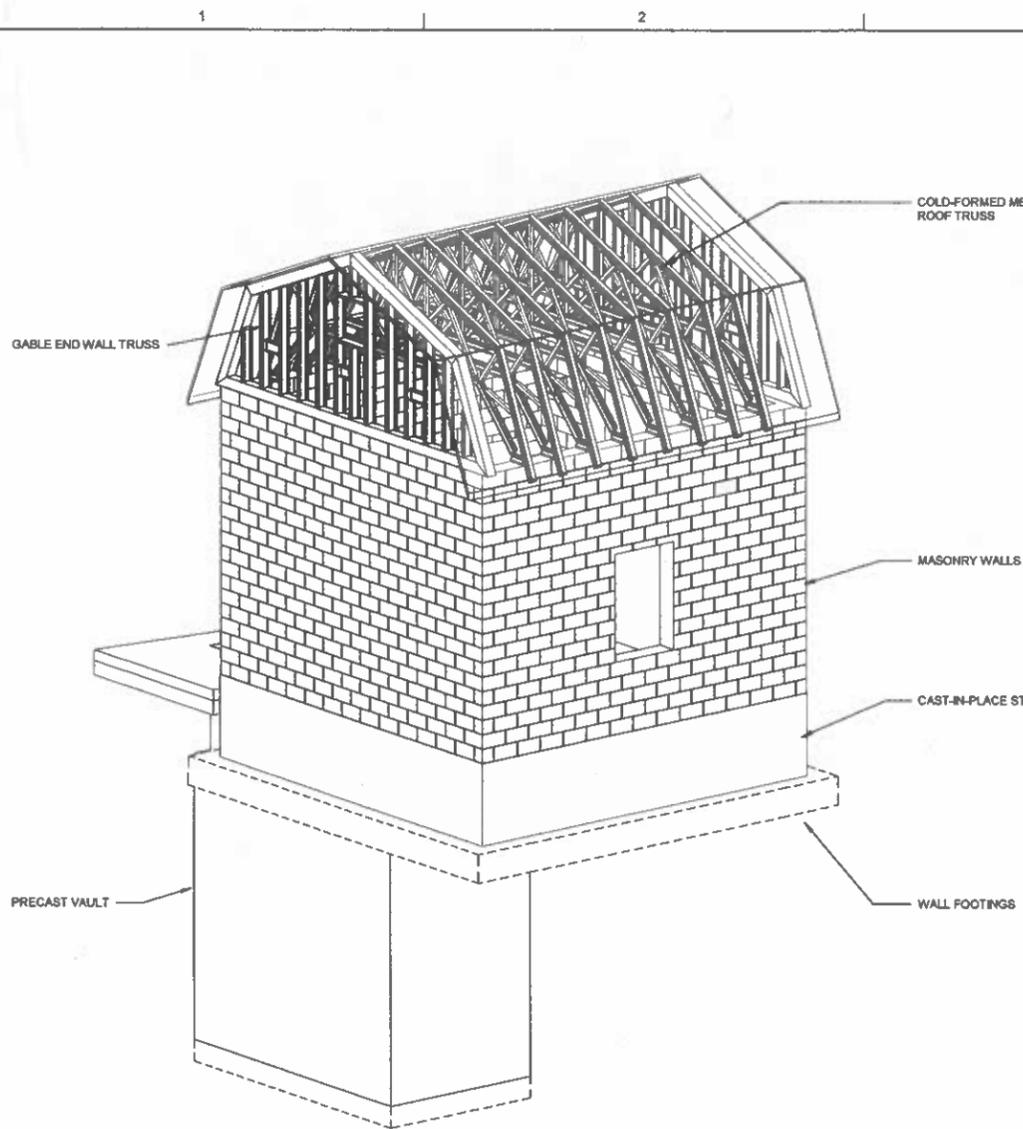
NO.	DATE	DR	REVISION	CHK	APVD	BY	APVD
1		T. DODGE		P. DENNING	A. DOLSAK		T. DODGE

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WEST STREET PUMP STATION
AND CSO MITIGATION PROJECT
TOWN OF BAR HARBOR
BAR HARBOR, MAINE
DEPARTMENT OF PUBLIC WORKS

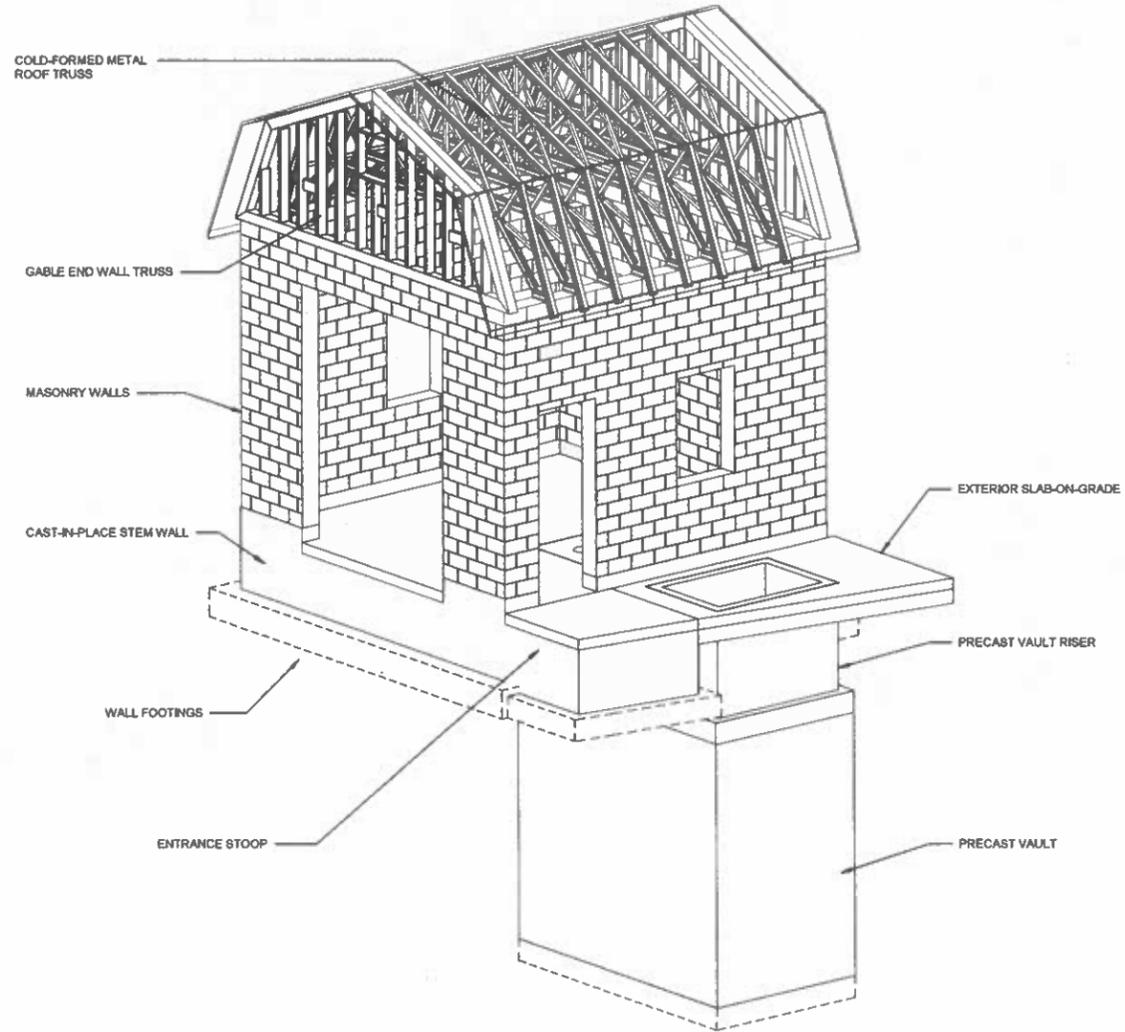
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ELEVATIONS

1/4" = 1'-0"	
VERIFY SCALE	
BAR IS ONE INCH ON ORIGINAL DRAWING	
DATE	APRIL 2025
PROJ	E2X91801
DWG	02-04-30-A-501
SHEET	63 of 101

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C1 PUMP STATION ISOMETRIC



C4 PUMP STATION ISOMETRIC

CONCRETE MIX DESIGN SCHEDULE

CONCRETE ELEMENT TYPE	MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc)	CONCRETE TYPE	EXPOSURE CLASSES	MAXIMUM WATER-TO-CEMENT RATIO	TARGET ENTRAINED AIR CONTENT	REQUIRED CEMENT REPLACEMENT	MAXIMUM AGGREGATE SIZE	REMARKS
FOUNDATIONS								
SLAB-ON-GRADE (EXTERIOR)	5000 PSI	NWC	C1, F3	0.40	6.0%	<70%	1"	
SLAB-ON-GRADE (INTERIOR)	3500 PSI	NWC	F1	0.45	4.5%	<70%	1"	
WALL FOOTINGS	3500 PSI	NWC	C1, F1	0.45	4.5%	<70%	1 1/2"	
FOUNDATION WALLS								
STEM WALLS	5000 PSI	NWC	C1, F3	0.40	6.0%	<50%	3/4"	
FLOOR/ROOF FRAMING								
HOUSEKEEPING PADS, EXTERIOR	5000 PSI	NWC	C1, F3	0.40	6.0%	<50%	3/4"	
HOUSEKEEPING PADS, INTERIOR	3000 PSI	NWC	—	0.45	N/A	<50%	3/4"	

- NOTES:**
- WHERE AN EXPOSURE CLASS IS NOT LISTED, IT MUST BE ASSUMED TO BE F0, F0, W0, OR C0 RESPECTIVELY.
 - CONCRETE EXPOSURE CLASSES MUST BE PROPORTIONED IN ACCORDANCE WITH ACI 318 IN ADDITION TO THE OTHER REQUIREMENTS NOTED IN THE TABLE ABOVE. WHERE REQUIREMENTS CONFLICT, THE STRICTEST REQUIREMENTS MUST GOVERN. REFER TO SPECIFICATIONS FOR OTHER REQUIREMENTS ASSOCIATED WITH EXPOSURE CLASSES.
 - AGGREGATE SIZES LISTED IN THIS TABLE ARE THE MAXIMUM PERMISSIBLE SIZE. AGGREGATE MUST BE WELL-GRADED AND MUST INCLUDE AGGREGATE UP TO THE MAXIMUM AGGREGATE SIZE. PEA-ROCK AGGREGATE MIXES ARE NOT PERMITTED UNLESS EXPLICITLY NOTED IN THE TABLE.

WALL FOOTING SCHEDULE

MARK	WIDTH	THICKNESS	BOT REINF LONGITUDINAL	TOP REINF LONGITUDINAL	BOT REINF TRANSVERSE	TOP REINF TRANSVERSE	REMARKS
WF2.0	2'-0"	1'-0"	(3)#5	(3)#5	#5 @ 12"	#6 @ 10"	
WF3.0	3'-0"	1'-4"	(4)#6	(4)#6	#6 @ 10"	#6 @ 10"	STD HOOK EA END OF TRANSVERSE REINF

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NO.	DATE	DR	REVISION	CHK	BY	APVD	BY
DSGN		K. WIGLE	J. TULLER	A. WARGA	F. LANCASTER		

120 SAINT JAMES AVENUE
5TH FLOOR
BOSTON, MA 02116

WEST STREET PUMP STATION
AND CSO MITIGATION PROJECT

TOWN OF BAR HARBOR
DEPARTMENT OF PUBLIC WORKS
BAR HARBOR, MAINE

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STRUCTURAL

SCHEDULES AND 3D VIEWS

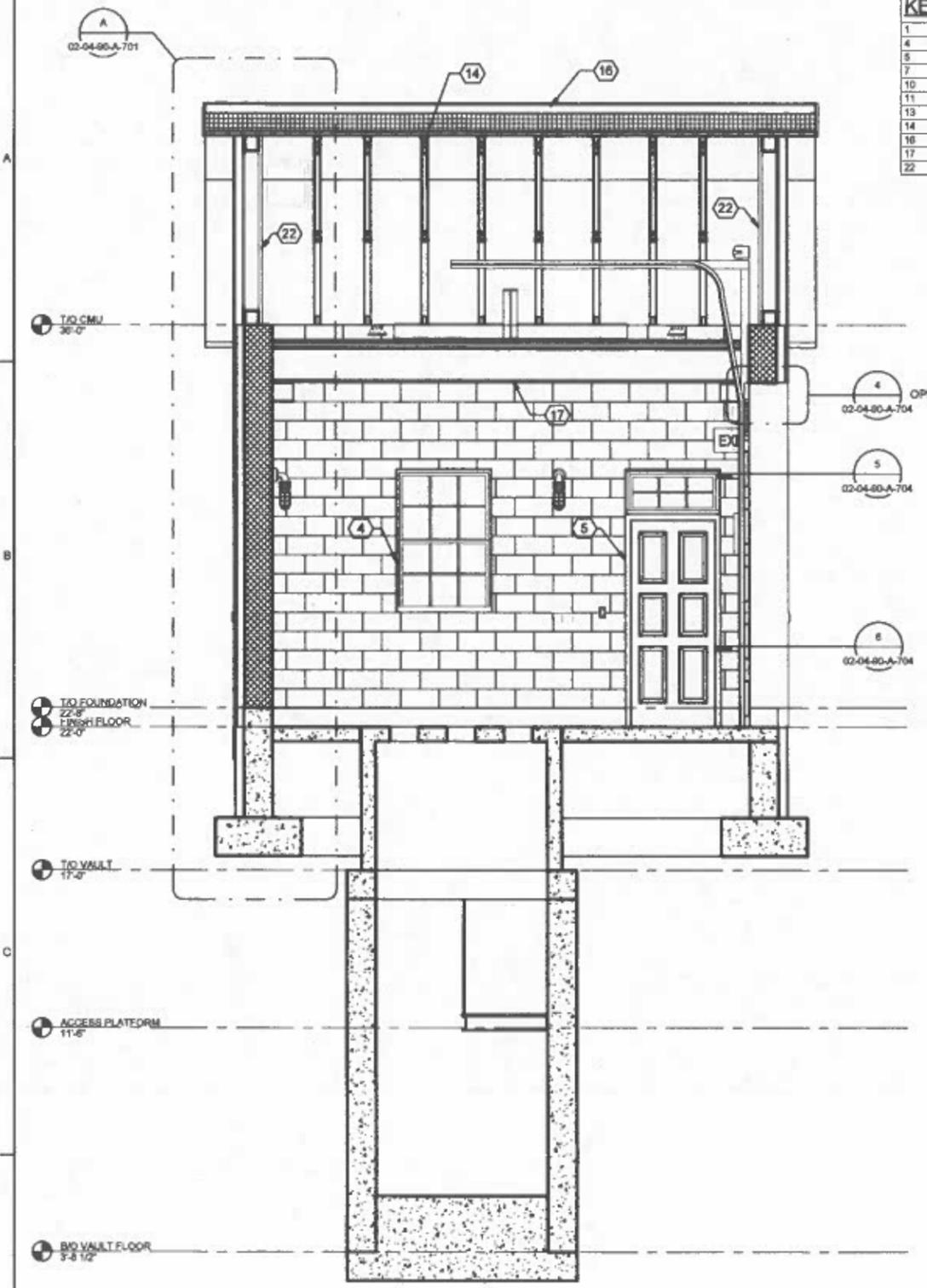
12" = 1'-0"
VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

DATE	AUGUST 2025
PROJ	E2X91801
DWG	02-03-20-S-801
SHEET	49 OF 101

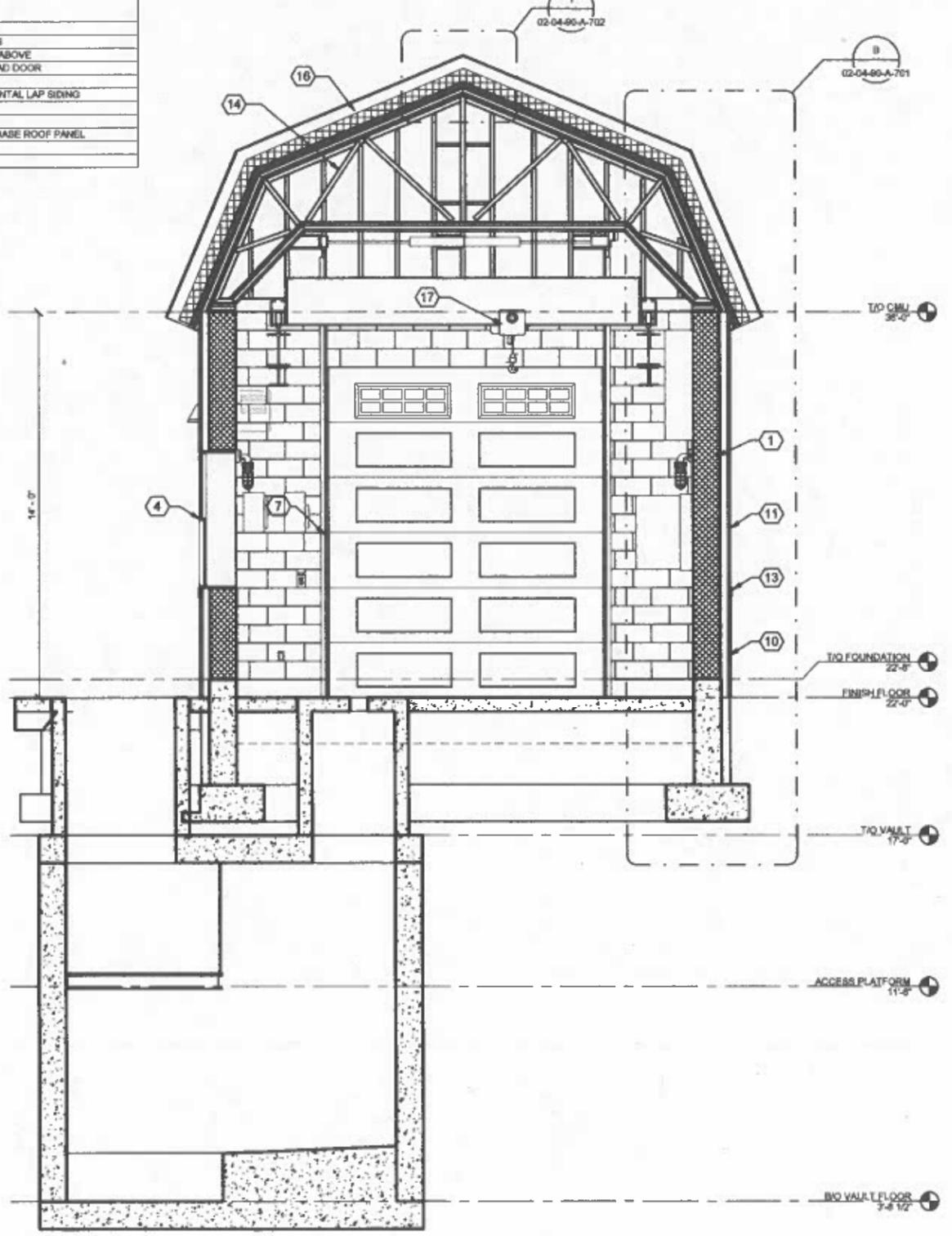
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KEYED NOTES:

1	12" CMU WALL
4	VINYL FRAMED WINDOW WITH MUNTINS
5	STEEL 3-PANEL DOOR WITH TRANSOM ABOVE
7	CARRIAGE STYLE SECTIONAL OVERHEAD DOOR
10	ADHERED STONE VENEER
11	FIBER CEMENT INTERLOCKING HORIZONTAL LAP SIDING
13	ADHERED STONE WATER TABLE/SILL
14	METAL TRUSSES
16	COMPOSITE VENTED INSULATED NAIL BASE ROOF PANEL
17	BRIDGE CRANE
22	METAL WALL LINER PANEL



A SECTION
02-04-30-A-201 3/8" = 1'-0"

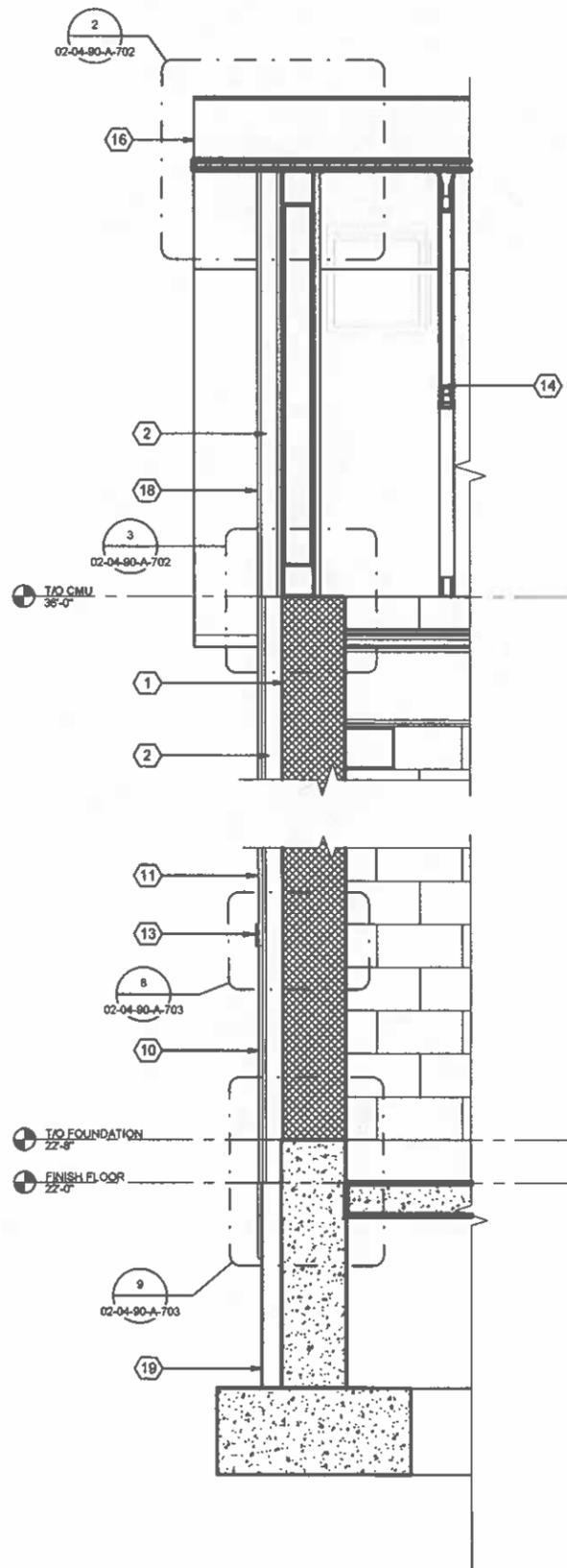


B SECTION
02-04-30-A-201 3/8" = 1'-0"

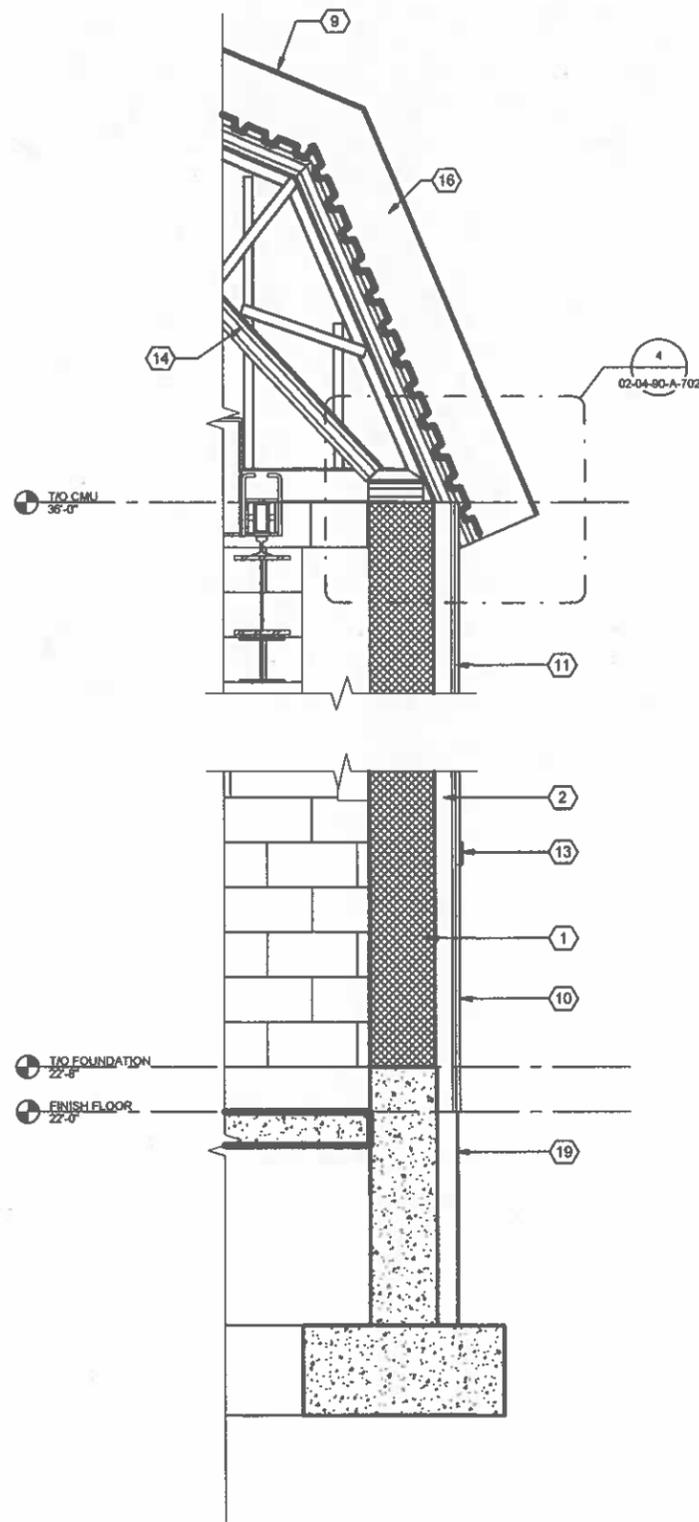
120 SAINT JAMES AVENUE 5TH FLOOR BOSTON, MA 02118		WEST STREET PUMP STATION AND CSO MITIGATION PROJECT		TOWN OF BAR HARBOR DEPARTMENT OF PUBLIC WORKS BAR HARBOR, MAINE	
Jacobs		ARCHITECTURAL		SECTIONS	
3/8" = 1'-0"		VERIFY SCALE		BAR IS ONE INCH ON ORIGINAL DRAWING	
DATE	APRIL 2025	PROJ	E2X91801	DWG	02-04-30-A-401
SHEET	82 of 101	ISSUED FOR PERMITTING ONLY - NOT FOR CONSTRUCTION			

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A WALL SECTION
02-04-30-A-401 3/4" = 1'-0"



B WALL SECTION
02-04-30-A-401 3/4" = 1'-0"

KEYED NOTES:

1	12" CMU WALL
2	COMPOSITE BOARD INSULATION
9	ADHERED STONE VENEER
10	FIBER CEMENT INTERLOCKING HORIZONTAL LAP SIDING
11	FIBER CEMENT STAGGERED EDGE SHINGLE SIDING
13	ADHERED STONE WATER TABLE/SILL
14	METAL TRUSSES
16	COMPOSITE VENTED INSULATED NAIL BASE ROOF PANEL
18	FIBER CEMENT STAGGERED EDGE SHINGLE SIDING
19	PERIMETER FOUNDATION INSULATION

120 SAINT JAMES AVENUE
5TH FLOOR
BOSTON, MA 02116
WEST STREET PUMP STATION
AND CSO MITIGATION PROJECT
TOWN OF BAR HARBOR
BAR HARBOR, MAINE

Jacobs
ARCHITECTURAL

WALL SECTIONS AND DETAILS

3/4" = 1'-0"
VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"

DATE	APRIL 2025
PROJ	E2X91801
DWG	02-04-90-A-701
SHEET	64 of 101

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A.DOLSAK
P. DENNING
T. DODGE
BY APVD
T. DODGE
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GENERAL CIRCUIT CONDUCTOR AND CONDUIT IDENTIFICATION

POWER CIRCUIT CALLOUTS		ANALOG CIRCUIT CALLOUTS	
[P0]	[2" C, 4#3/0, 1#6G]	[A0]	[3/4" C, 1 TYPE 3]
[P1]	[2" C, 4#3/0, 1#6G]	[A1]	[2" C, 2 TYP 3 (1 SPARE)]
[P2]	[2" C, 4#3/0, 1#6G]	[A2]	
[P3]	[2" C, 4#3, 1#6G]	[A3]	
[P4]	[3/4" C, 3#6, 1#10G]	[A4]	
[P5]	[3/4" C, 2#12, 1#12G]	[A5]	
[P6]	[3/4" C, 3#10, 1#10G]	[A6]	
[P7]		[A7]	
[P8]		[A8]	
[P9]		[A9]	
[P10]		[A10]	

NOTES:

- FOR CABLE TYPES, SEE SPECIFICATIONS.
- WHERE CIRCUITS ARE UNDERGROUND, DIRECT BURIED OR CONCRETE ENCASED, MINIMUM CONDUIT SIZE SHALL BE 1".
- ALL CABLES FROM VFD'S TO MOTORS SHALL BE VFD RATED CABLE.

LUMINAIRE SCHEDULE

TYPE	SYMBOL	BASIS OF DESIGN	DESCRIPTION AND CATALOG NUMBER	CLASSIFICATION	TYPE	INPUT WATTS	VOLTS	MOUNTING
A		HOLOPHANE	WET LOCATION LED TYPE WAL MOUNT LIGHT. 10,000 LUMENS PACKAGE. PRISMATIC BOROSILICATE GLASS LENS, CAST ALUMINUM HOUSING WITH LOW COPPER CONTENT. POWDER COAT FINISH. UNIVERSAL ARM MOUNT SUITABLE FOR WALL INSTALLATION. 120V C/W 10 WATTS EMERGENCY BATTERY PACK. CATALOG NO. PXLW 10000LM FWD 120 40K 90CRI UNM E10WMC P DGXD	WET LOCATION	LED	74	120	PENDANT
B		LITHONIA	DI-CAST ALUMINUM HOUSING, INTEGRATED HEAT SINKS. THERMOSET COAT FINISH FOR SUPERIOR RESISTANCE TO CORROSION AND WEATHERING. PRECISION-MOLDED ACRYLIC LENSES FOR SUPERIOR DISTRIBUTION TYPE SR3. SUITABLE FOR 120V OPERATION AND C/W MOTION/AMBIENT SENSOR. 3000 LUMENS PACKAGE AND EMERGENCY BATTERY PACK. CATALOG NO. WST LED P2 40K VF 120 PIR1FC3V E20WH DDBXD	OUT DOOR/WET LOCATION	LED	25	120	WALL
X		LITHONIA	WHITE, COMPACT IMPACT-RESISTANT THERMOPLASTIC HOUSING. SUITABLE FOR WET LOCATION. WALL OR CEILING MOUNT. 120V OPERATION AND C/W NICKLE-CADMIUM BATTERY AND SELF DIAGNOSTICS OPTION. CATALOG NO. WLTE W 1/2 R EL SD	WET LOCATION	LED	3	120	WALL

120 SAINT JAMES AVENUE
5TH FLOOR
BOSTON, MA 02116

WEST STREET DRY WEATHER
PUMP STATION
TOWN OF BAR HARBOR
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ELECTRICAL
ELECTRICAL LEGEND
(SHEET 3 OF 3)
AND LUMINAIRE SCHEDULE

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING.
0 1"

DATE AUGUST 2025
PROJ E2X91801
DWG 02-08-01-E-003
SHEET 83 of 101

NO. DATE DSGN DR TITLE J. LITTLE J. KHAN J. BROSNAN J. BROSNAN
REVISION I. KHAN J. BROSNAN J. BROSNAN
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