

**Cover Page
for Thursday August 14, 2025,
Design Review Board Meeting**

*Project Information is available at https://www.barharbormaine.gov/271/Design-Review-Board	Material Issued	Issued on 8/7/2025
ITEMS		—
Cover page with date	✓	
August 14, 2025, Meeting Agenda	✓	
Minutes for approval: <ul style="list-style-type: none"> • June 26, 2025 	✓	
Applications: <ul style="list-style-type: none"> • Certificate of Appropriateness Application: DRB-2025-19 • Certificate of Appropriateness Application: DRB-2025-20 • Certificate of Appropriateness Application: DRB-2025-21 	✓	

Town of Bar Harbor
Agenda — Design Review Board
Thursday, August 14 at 4:00 PM
93 Cottage Street
Bar Harbor, Maine

I. CALL TO ORDER

II. EXCUSED ABSENCES

III. ELECTION OF OFFICERS

- a. Chair
- b. Vice-Chair
- c. Secretary

IV. ADOPTION OF AGENDA

V. APPROVAL OF MINUTES

- a. June 26, 2025

VI. PUBLIC COMMENT

To make comment, please email designreview@barharmoraine.gov (goes to all board members and town staff)

VI. BUILDING PERMIT REMINDERS

VII. REGULAR BUSINESS

a. Certificate of Appropriateness

Application: 2025-19

Applicant/Owner: MDI Hospital

Project Location: 10 Wayman Lane, Bar Harbor, ME 04609. Map/Lot 108-007-000

Proposed Project: To use a portable traffic sign to direct traffic around the hospital while completing construction on the property.

b. Certificate of Appropriateness

Application: 2025-20

Applicant: Selkie Sauna

Owner: Chris Marceal

Project Location: 1501 State Hwy 102, Bar Harbor, ME 04609. Map/Lot 219-033-000

Proposed Project: To set up a seasonal sauna opportunity at Salisbury/Mother's Kitchen in Town Hill. The sauna will be operated seasonally through October.

c. Certificate of Appropriateness

Application: 2025-21

Applicant: Hannaford Bros. Co LLC

Owner: Cough Brothers, Inc.

Project Location: 86 Cottage Street, Bar Harbor, ME 04609. Map/Lot 104-242-000

Proposed Project: To add two additions to the Hannaford supermarket building in Downtown Village II.

VIII. OTHER BUSINESS

IX. BOARD MEMBER COMMENTS AND SUGGESTIONS FOR THE NEXT AGENDA

X. ADJOURNMENT

**Town of Bar Harbor
Minutes — Design Review Board
Thursday, June 26 at 4:00 PM
93 Cottage Street
Bar Harbor, Maine**

I. CALL TO ORDER

The meeting was called to order at 4:00 PM. Members present included Chair Barbara Sassaman, Vice-Chair Erin Cough, Secretary Andrea Lepcio, and member Pancho Cole.

II. EXCUSED ABSENCES

Kate Macko was excused. Bo Jennings was unexcused.

III. ADOPTION OF AGENDA

Pancho Cole moved to adopt the agenda, Erin Cough seconded and the motion passed 4-0 in a roll call vote.

IV. APPROVAL OF MINUTES

a. June 12, 2025

Andrea Lepcio moved to approve the minutes. Erin Cough seconded and the motion passed 5-0 in a roll call vote.

V. PUBLIC COMMENT

There were none.

VI. BUILDING PERMIT REMINDERS

The applicants were reminded that they would need to apply for and receive a building permit prior to commencing any of the activities approved at the meeting.

VII. REGULAR BUSINESS

a. Certificate of Appropriateness

Application: 2025-18

Applicant: Michael Boland

Owner: Mark and Lynn Rampacek

Project Location: 321 Main Street, Bar Harbor, ME 04609. Map/Lot 108-073-000

Proposed Project: Deck expansion for guest seating and an awning over the deck on the side of the building.

The applicant arrived to the meeting late. The Design Review Board reviewed the applicable standards for the project.

The Board asked if the alterations to the deck would look the same as the existing deck. The applicant confirmed it would. The applicant described the proposed location of the deck expansion and the awning.

The Board discussed seasonal closures with the applicant.

Chair Sassaman suggested the addition of screening to hide the existing heat pumps.

Andrea Lepcio moved to approve DRB-2025-18 as presented, with the option to screen the north side of the building by the heat pumps. Pancho Cole seconded and the motion passed 4-0.

VIII. OTHER BUSINESS

There was none.

IX. BOARD MEMBER COMMENTS AND SUGGESTIONS FOR THE NEXT AGENDA

The Board requested to discuss Chapter 31 changes at the upcoming meeting in July.

X. ADJOURNMENT

Erin Cough moved the adjourn the meeting at 4:25 PM. Chair Sassaman seconded and the motion passed 4-0.

Andrea Lepcio, Secretary
Design Review Board, Town of Bar Harbor

Date



Town of Bar Harbor
Design Review Board Application —
Certificate of Appropriateness

DRB Application Number:

Date: July 24, 2025

Map & Lot: 219-033-000

RECEIVED JUL 25 2025

Project Address: 1501 State Hwy 102

Applicant Name: Selkie Sauna (Gail Gladstone) Address: 4 Sydneys Way

City: Mount Desert State: ME

Email: selkiesauna@gmail.com

Phone: 207-479-3459

Property Owner Name: Cris Marceal Address: 25 Farnhams Way

City: Mount Desert State: ME

Email: info@coffeematter.biz

Phone: 207-230-4735

Architect/Designer Name: N/A Address:

City: State:

Email:

Phone:

TYPE OF PROJECT

- Demolition or Relocation of Historic Building
Changes to Exterior Appearance of Historic Building
Construction of New Building or Expansion of Nonhistoric Building
Installation or Changes in an internally illuminated sign or awning
Changes to Exterior Appearance of Nonhistoric Building
Installation or Changes in Outdoor Storage/Display/Vending Machines
Installation or Changes in fences and freestanding walls

FEE

Project Cost: \$ 2000

- \$ 31.00 for Residential and Commercial projects less than 1 million.
\$ 66.00 Commercial projects more than 1 million

PLEASE BE ADVISED: A building permit must be obtained prior to the construction and/or installation. Contact the Code Enforcement Office with any questions regarding the building permit process at (207) 288-3329

NOTE: Applications are due 14 days in advance of the next regularly scheduled Design Review Board meeting.

Signature of Applicant

Signature of Owner (if different from Applicant)

**Town of Bar Harbor
Design Review Board
Required Application Materials
Section 125-114**

Brief Project Description:

Please provide a brief description of the project.

This project is to set up a seasonal sauna opportunity at Salsbury/Mother's Kitchen in Town Hill. We will operate at this site through October.

Road Frontage: Route 102 and Gilbert Farm Rd.

Open Seasonally

Open Year Round

ALL Applications must include:

Please provide materials in the order listed below and check the "provided?" column.

	Requirement	Provided?		Reserved for Planning Staff Review
		Y	N	
1	NARRATIVE —Description of the building's use, location, setbacks, adjacent structures, dimensions, materials, colors, etc.	X		
2	PHOTOS OF EXISTING BUILDING —color photographs or simulations of the existing building, structure, or site showing all facades that can be seen from the public street.	X		
3	PHOTOS OF ADJACENT PROPERTIES —color photographs or simulations of the adjacent buildings to the subject property, including those across the street and next door. These photos should depict setbacks from the street, building heights, front façade proportions, building scaping and materials, and existing patterns and relationships.	X		
4	DETAILED PLANS —Drawings, photos, or simulations of proposed changes that are planned for the property. This should depict all sides of the new structure that will be visible from the road.	X		
5	SCALED SITE PLAN —Scaled drawing, photo, or simulation of the site showing all proposed and existing structures , including fences, buildings, storage areas, etc. This site plan should take required property setbacks into account.	X		
6	MATERIALS —Details of all external materials, including type, color and composition. Paint chips or product samples shall be provided for each addition.	X		
7	LIGHTING —Details of any new or proposed changes to lighting and lighting levels.		X	

If NO was selected in the above table for any of the requirements, please describe why it was not included.

There are no proposed changes to lighting with this project.

**Town of Bar Harbor
Design Review Board
Required Application Materials
Section 125-114**

Are you Demolishing or relocating a historic building?

No Yes

If no, you have completed the application.

If yes, please provide the documents requested in the table below.

Required Submittals for Demolition or Relocation of a Historic Building ONLY:

In addition to the table on page 2, please provide materials in the order listed below and check the "provided?" column

Requirement	Provided?		Reserved for Planning Staff Review
	Y	N	
1 STATEMENT FROM DESIGN PROFESSIONAL —Please provide a statement from an engineer or architect outlining the structural condition of the building, the condition of the building systems, and issues with the renovation or use of the building that affect the feasibility of renovation or relocating the building.			
2 MSHP NOTIFICATION —Please provide written evidence that the Maine State Historic Preservation Office and local historical organizations have been notified of the application for a Certificate of Appropriateness to demolish the building and copies of any correspondence with or from these groups.			

If NO was selected in the provided section for any of the requirements above, please describe why it was not included.

**Town of Bar Harbor
Design Review Board
Findings for Deliberations Checklist**

Section 125-114 – Design Review Standards:

In reviewing an application for a certificate of appropriateness, the DRB shall approve the issuance of a certificate if it finds the application and proposed activities are consistent with the following standards, or that they will be consistent as a result of conditions of approval imposed on the application.

In reviewing applications the Board shall consider the appropriate sections of each of the following categories and shall find the project in conformance with all relevant provisions before approving the issuance of a certificate of appropriateness.

The Board finds that the proposal meets:	Yes	No	N/A
a. Standards relating to visual compatibility	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Standards for materials and design details for structural projects	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Standards for materials and design details for accessory projects	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Standards for signs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Standards for historic buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Narrative:

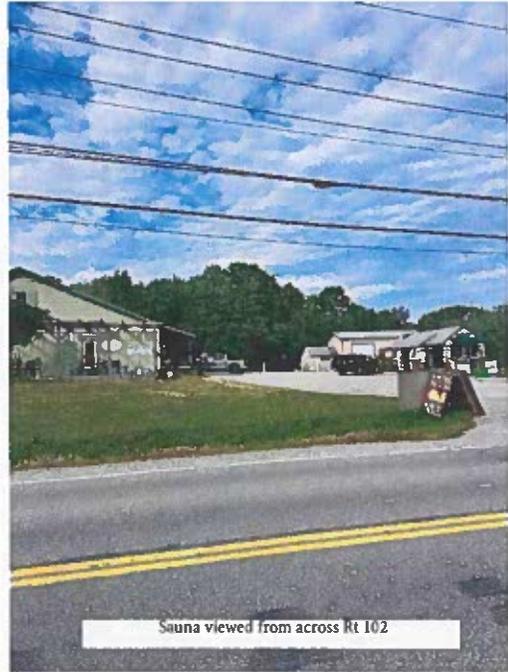
The building is a 7x12 mobile sauna (see photos and specifications included). The sauna will be situated on the ground (making it not mobile) next to an existing building near the back of the property. This will create a small, separate space on the lot that will serve as a sitting/rest area. A five-foot-tall temporary fence made of 4x4 posts with open lattice will enclose the west side of the space providing some additional privacy in the sitting area.

The exterior material of the sauna is aluminum sheeting painted black. There is no additional lighting.





View towards sauna from the Salisbury store shows existing buildings with the sauna in place.

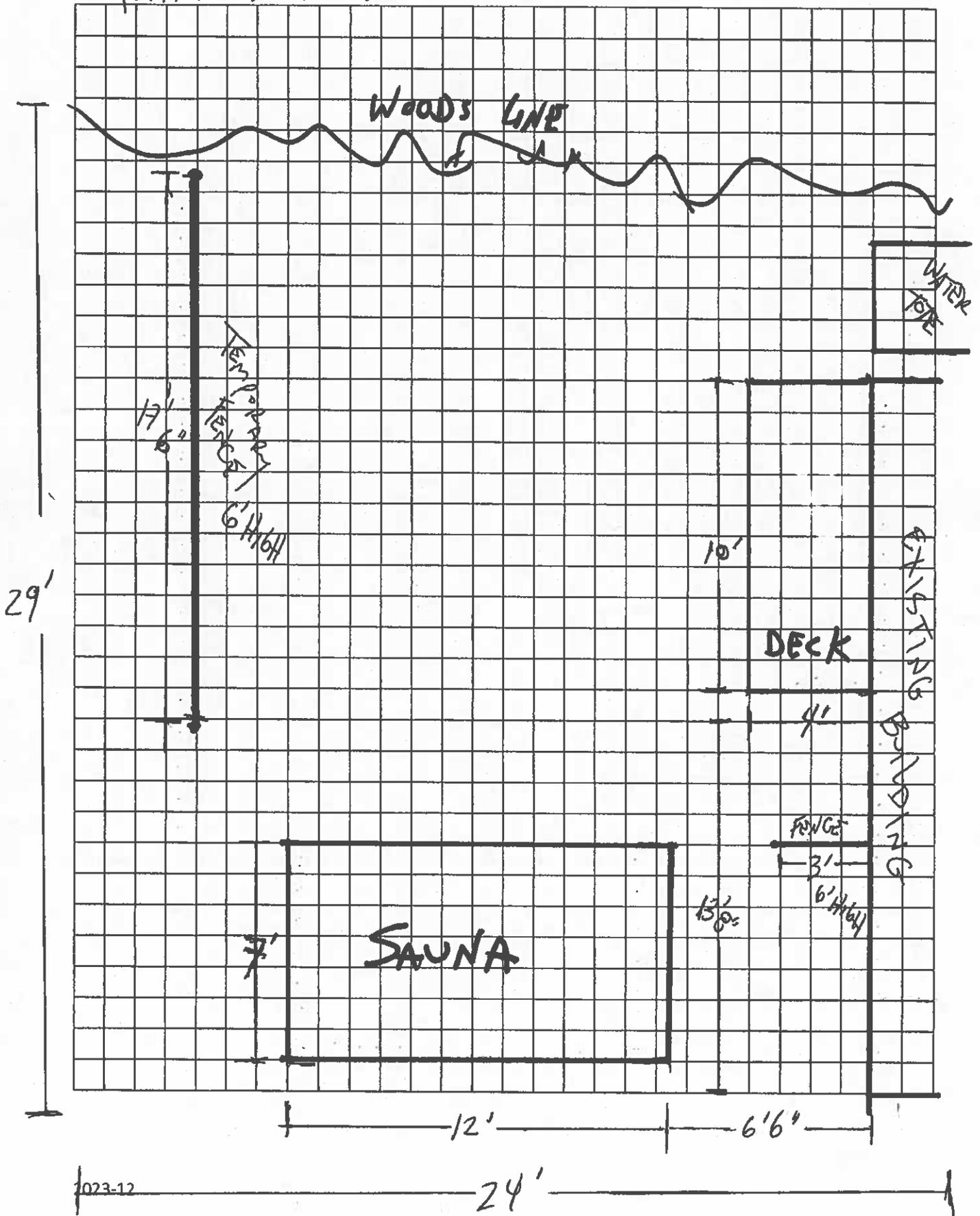


Sauna viewed from across Rt 102



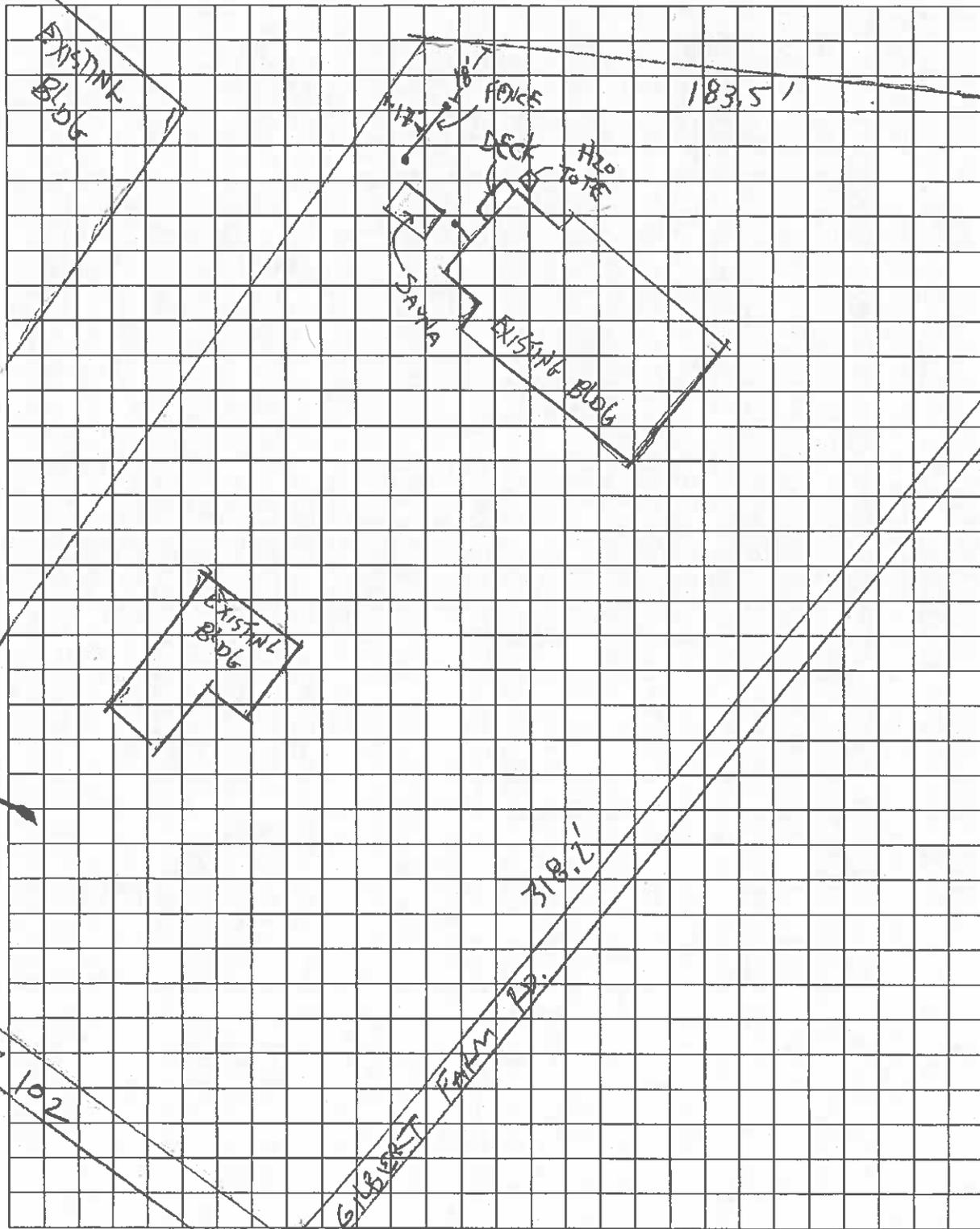
Sauna viewed from across Gilbert Farm Road.

PERMIT # 202500376

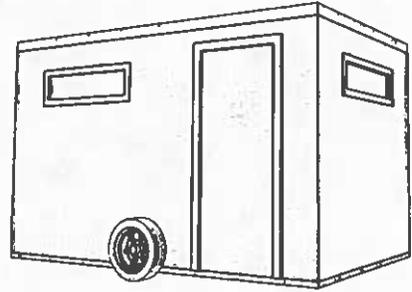


023-12

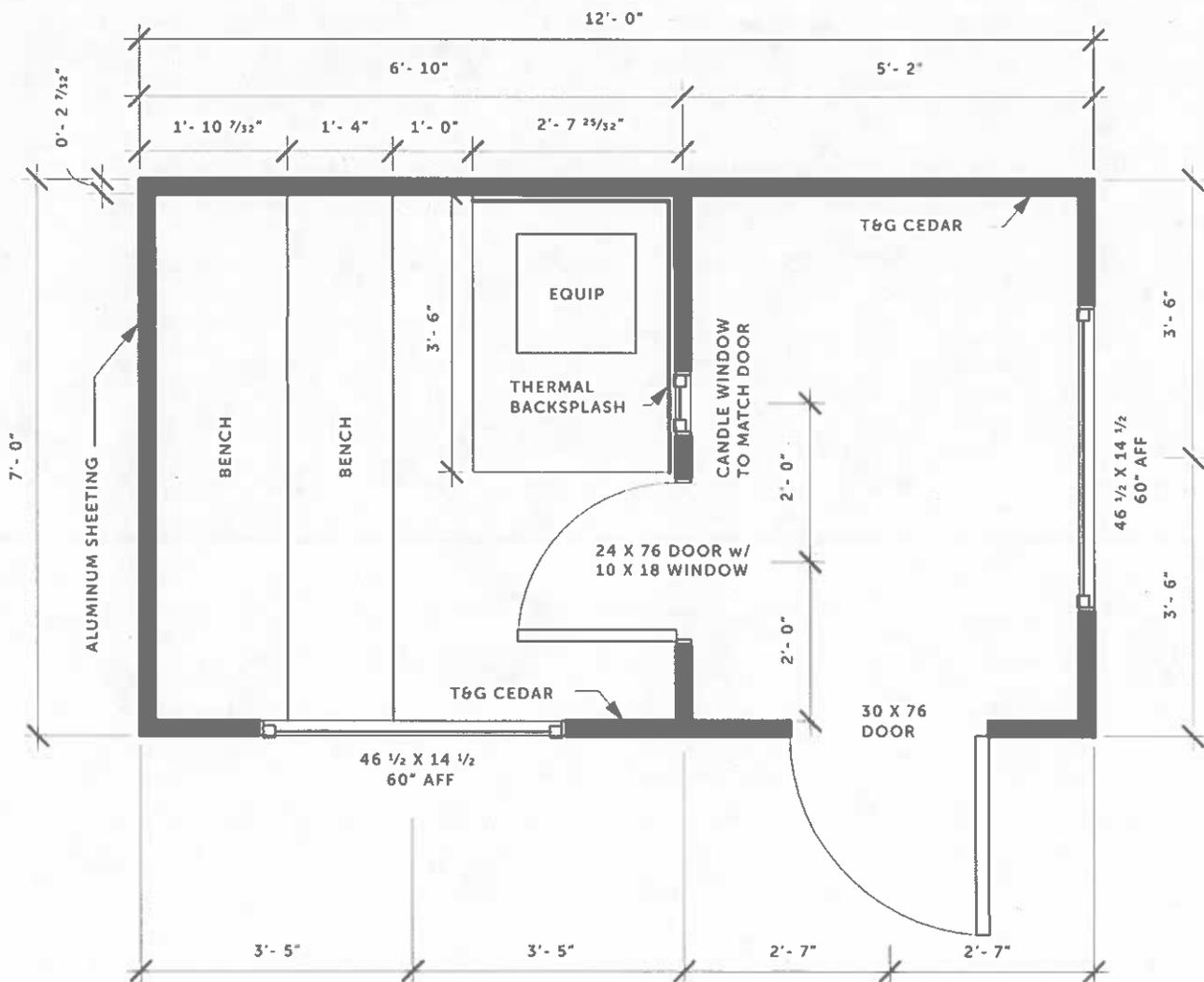
24'



Modular Mobile and Fixed Location 7x12 Sauna



IN COLLABORATION WITH SAUNATIMES
YOUR GUIDE TO A HEALTHY ESCAPE



Trailer Specs

- 7' X 12' X 84" TALL
- 2" X 6" ALUMINIUM MAIN FRAME
- 1 1/2" ALUMINIUM WALL STUDS
- 1" X 2" ALUMINIUM ROOF TRUSSES
- EPDM RUBBER ROOF 40 MIL.
- RUST-FREE ALUMINIUM SHEETING
- 2" SPRAY FOAM WALLS
- 2.5" SPRAY FOAM CEILING
- 2300 LBS TRAILER DRY WEIGHT
- 3500 LBS AXELS
- 3500 LBS SPRING
- 3/4" DRY MARINE TECH FLOOR (GLUES & SCREWED)
- COIN PATTERN RUBBER FLOOR
- LED DOOR LIGHT
- 2000 LBS HAND CRANK LOWERING SYSTEM
- 205-75-15 8 PLY
- 2" TOWING BALL
- 30" X 78" ALUMINIUM ENTRANCE DOOR

Hot Room Specs

- 6'8" X 7' ROOM
- TWO 24" X 79" CLEAR CEDAR BENCHES
- BRICK HEARTH FLOORING
- UNDER BENCH WOOD STORAGE
- 24" X 76" DOOR WITH WINDOW
- UNDER BENCH LIGHTING
- KUUMA SMALL STOVE
- 1" X 6" PREMIUM CEDAR TONGUE & GROOVE
- STOVE BACKSPLASH: DURAROCK ALUMINIUM
- 6" STAINLESS, CLASS A FLUE PIPE
- AVAILABLE IN BOTH 110V OR 12V POWER SOURCES

Changing Room Specs

- 5' X 7' ROOM
- 12 VOLT BATTERY STORAGE
- LED LIGHT
- UPPER STORAGE SHELF
- TOWEL HOOKS
- SINGLE CEDAR BENCH
- 2 USB CHARGING PORTS

Permit #: 250027**Permit Type:** Design Review Board**Address:** 1501 STATE HWY 102**City:** Bar Harbor**State:** ME**Zip:** 04609**Owner:** BLOSSOMING VENTURES**Owner Address:** 25 FARNHAMS WAY**Owner City:** MOUNT DESERT**Owner State:** ME**Owner Zip:** 04660**Owner Phone:** 207-288-5182**Owner Email:** SALSBURYORGANICS@GMAIL.COM**Receipt #:** 75**Date:** 07/28/2025**Paid By:** Gail Gladstone**Description:** 1334848**Payment Type:** IBX CC**Payment Type Description:****Accepted By:****Fees Paid**

Fee Name	Fee Type	Description	Factor	Total Fee Amount	Amount Paid
Small Commercial	Design Review Board	Less than 1 million	0.00	31.00	31.00
				Total:	\$31.00



Design Review Board Application

Date: 06/30/2025

Project

Site Address:	10 Wayman Ln	Additional Type:	Outdoor storage and display
Tax:	108-7	Project Cost:	11000
Map:		Road Open:	Year Round
Project Type:	Outdoor storage and display	Road Frontage:	72
		Historic Build:	No

Project Description: During the town's paving project on Main St, they closed Wayman Ln to traffic. We borrowed the town's portable traffic sign to help direct emergency and regular patients to the most direct route to our Emergency Department. As we move forward with our campus plan, we purchased our own sign identical to the town's, in order to continue to direct Emergency and regular patients to the most direct route to our entrance and ED as they change over the duration of the project.

Applicant

Applicant Name:	MDI Hospital	City, State, Zip:	Bar Harbor, ME 04609
Address:	10 Wayman Ln	Phone:	207-288-5081
Applicant Map:	108	Email:	doug.springer@mdihospital.lorg
Applicant Lot:	007		

Owner

Owner Name:	MDI Hospital	Phone:	207-288-5081
Address:	10 Wayman Ln	Email:	doug.springer@mdihospital.org
City, State, Zip:	Bar Harbor, ME 04609	If not building owner:	

Architect / Designer

Architect Name:	N/A	Phone:	N/A
Address:	N/A	Email:	N/A
City, State, Zip:	N/A		

PLEASE BE ADVISED: A building permit must be obtained prior to the construction and/or installation. Contact the Code Enforcement Office with any questions regarding the building permit process at: (207) 288-3329

NOTE: Applications are due 14 days in advance of the next regularly scheduled Design Review Board Meeting.

I do hereby certify that the information contained herein is true and correct.

D W Springer
Signature of Applicant

06/30/2025
Date

Signature of Owner (if different)

06/30/2025
Date



INSTALERT 24 VARIABLE MESSAGE SIGN

InstAlert 24 Variable Message Sign

- Open dimensions: 1.63" x 28" x 60"
- Folded dimensions: 3.25" x 28" x 30"
- Folded sign fits in vehicle trunk, SUV hatch
- Full matrix display: 26 x 96 pixels, 0.6"x 1" pitch
- LED pixels: Amber 590nm, 30-degree viewing angle, 100,000 hrs, black background, universal display modules
- MUTCD compliant
- On-board message selector buttons for quick selection of 25 internal messages and modes with anti-tamper lockout
- Local and remote management and monitoring options
- Integral active cell modem allowing TrafficCloud Web-Based Management Services for remote management
- Integral camera for awareness and alert-driven images
 - 640 x 480 daylight images
- Power saving circuitry and automatic dimming for ambient light conditions with adjustable dimming range and manual display brightness override
- Conformal coating on all circuit boards
- Integral case handles and nylon web handles
- Weight: 43 pounds
- Weatherproof, inherently sealed design
- 1/8" tinted, non-glare, UV stabilized polycarbonate face
- Entire face is removable for service
- Aluminum chassis, 12 ga., with black powder coat finish
- Mounting provisions for permanent applications, (12) 1/4-20 threaded holes
- -40 to 160°F operating temperature range, 95% humidity, non-condensing (-20°F for Bluetooth communication)
- Withstands up to 70-mph winds



INSTALERT 24 ON HITCH MOUNT



INSTALERT 24 ON POLE



INSTALERT 24 ON PORTABLE POST



INSTALERT 24 ON ATS 5 TRAILER

InstAlert Operation Modes

- **Message Mode:** Display one message, up to six screens
- **All Messages:** Sequence all messages in sign memory
- **Schedule:** Change message and/or mode up to 13 times/day
- Speed based modes available in the
- SpeedAlert 24 configuration
- Sign returns to last configuration when power applied

InstAlert Messages

- **1-3 line messages**
 - 1 line: 24" H x 12.5" W characters, 4/line
 - 2 lines: 10.25" H x 5.75" W characters, 8/line
 - 3 lines: 7" H x 4" W characters, 12 per line
 - 2 lines: (1) 7" char, 12/line, (1) 10.25" char, 8/line
- Up to six screens per message
- Message power efficiency calculator in software
- Variable display time, flash and reverse rates
- for each screen
- Full graphics capability, each LED is individually controllable, programmable from PC, PDA or remotely
- Ability to link multiple messages for up to
- 144 screen animation
- Scroll through 25 user defined on-board messages using selector buttons built into sign, no training necessary; buttons on unit become inactive after timeout to prevent tampering, reactivate by reapplying power
- Unlimited message storage on PC, Android device or remote server
- Messages on sign are not erased when power is removed
- Sign returns to last message when power applied
- Actual sign preview on PC, Android or TrafficCloud

InstAlert Programming

Program and monitor the sign three ways: On-Board Programming (standard on all units)

- Select message from sign's memory
- Select operation mode

TraffiCloud® Web-Based Management Services

Using integral cell modem for remote management

(See TraffiCloud specification for more information):

- Turnkey system with remote sign connection functional out of the box. Unit connects to TraffiCloud system when sign is powered
- Fully hosted web-based management system
 - Internet-connected computer with browser provides anywhere access on all browser-capable, connected devices.
 - No IT involvement or support necessary. System bypasses customer network eliminating access issues
 - Cellular service provided by ATS, no separate cellular charges
 - Hosted database requires no setup or maintenance by customer
- **Apps:** All apps included in Message Suite:
 - Equipment Management: Change messages and settings remotely, monitor sign online
 - Image Management: Online image retrieval and management of images from internal camera
- **Alerts:** Email/SMS notifications for low battery and tampering, alerts can include images
- **Mapping:** Visually manage equipment and data
- Premier Care Perpetual Warranty

ATS PC Sign Manager

Local Management using PC with USB connection standard on all signs

- PC-based client software
- Connect to sign via USB or Bluetooth (optional) ATS

Android App: Local management (optional):

- Android OS wireless Bluetooth control local to unit
- Android device can be phone or WiFi device with Bluetooth

Local Management Features:

- Create and change messages, modes and settings
- Local image retrieval and management from internal camera
- Manage all unit settings, automatic sync with TraffiCloud Web Based Management
- All traffic data and messages can be saved for online management and backup with optional TraffiCloud Message Suite
 - Create message and save to TraffiCloud library, messages available on all ATS Android App or PC Sign Manager devices
- Sign firmware field and remotely upgradeable

InstAlert Settings

- Configure the following parameters via PC, Android or TraffiCloud Web-Based Management System:
 - Load message using "Display Now" feature
 - Load 24 messages into sign's memory
 - Scroll messages in sign's memory
 - Display signs from server or local device memory
 - Set sign mode
 - Upload schedule
 - Set automatic dimming range minimum and maximum levels or manually override display brightness
- Internal real time clock, time maintained with power disconnected
- Set time via local device or sync with cell signal

Scheduling

- All days, multiple messages: schedule up to
- 50 different messages or modes for up to 13 different time periods in a 24-hour day, repeats in each 24-hour cycle
- 7 day, multiple messages: schedule different messages or modes for up to 13 different time periods in each 24-hour day for each of 7 days, repeats in each 7 day cycle; up to 50 different messages can be used over the 7-day period
- All messages and scheduling reside on the sign – no external hardware necessary
- Program schedule via TrafficCloud Web, ATS Android app or ATS PC Sign Manager. Save to load onto multiple signs
- Camera activation controlled in schedule windows
- Internal real time clock, time and schedule maintained with power disconnected

Data Logging Option for InstAlert units with the optional internal radar option – SpeedAlert 24

- Upgrade to the SpeedAlert 24, adding traffic radar to the InstAlert to enable collection of traffic data and speed display functionality
- See SpeedAlert 24 Specification Sheet

InstAlert Sign Power

- Power Input, Max:
- 12VDC, 8A max, 96 W max; 4A, 48W typical

- Power saving circuitry and automatic dimming for ambient light conditions with adjustable dimming range and manual display brightness override

SpeedAlert 24 Power:

- o 12VDC locking plug, 30A capacity: Compatible power supplies include:
 - o Vehicles' power port, with optional adapter
 - o Trailer wiring adapter for hitch mount
 - o POWERcase portable power supply, PC26 or PC36
 - o 120 or 220 VAC Power supply in NEMA 4 enclosure
 - o ATS 5 Trailer (batteries with optional solar assist: 235 or 470 Ah, 60W solar option)
 - o Pole battery box: 156Ah battery with solar assist
- Battery level indicator on sign, ATS Android app, ATS PC Sign Manager or TrafficCloud Remote Management
- Auto recovery for battery with solar
- Power cable customer replaceable, gold-plated connector contacts, high visibility yellow cable

Standard InstAlert System Components

- InstAlert Variable Message Sign
- ATS PC Sign Manger software with USB cable
- On-Board Controls

InstAlert Mounting Options

- ATS 5 Trailer (refer to ATS 5 Specification Sheet for more info)



INSTALERT 24 ON PORTABLE POST

- Options using the InstAlert mounting bracket
- Hitch mount
 - Sign height: 25" to bottom, 53" to top of sign from receiver tube (final height dependent on receiver height, flip mounting bracket for an additional 12")
 - Fits 1.25" or 2" receiver, adapter included
 - ½" hitch pin
 - Locking rotation adjustment on 15-degree increments over 180 degrees,
 - +/- 5-degree tilt to adjust LED aim for maximum brightness
 - White powder coat finish with rear reflector
 - Not intended for operation above 15 mph
- **Telescoping Hitch Mount**
 - All features of standard hitch mount, plus
 - Sign height: 53" to bottom, 81" to top of sign from receiver tube (final height dependent on receiver height, flip mounting bracket for an additional 12")
- **Standard Folding Portable Post:**
 - Folds for easy storage and portability
 - 42" to 55" to bottom, 70" to 83" to top of sign depending on leg positions, rotate bracket for additional 12"

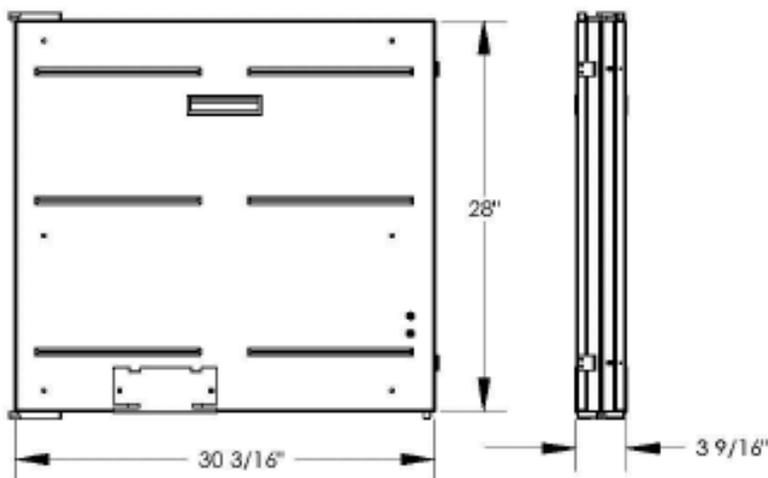
Optional InstAlert Sign Components and Features

- TrafficCloud Web-Based Remote Management Service

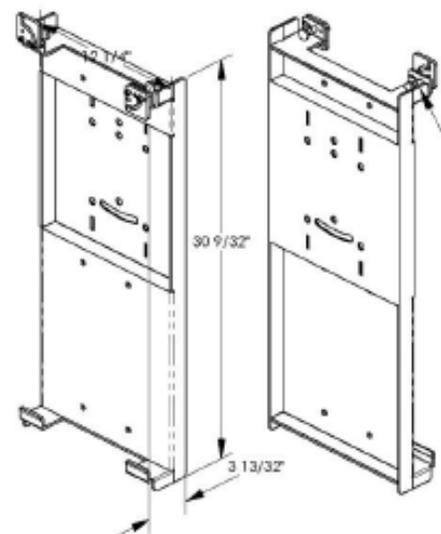
- ATS Android App, Bluetooth connectivity
- Padded carrying case with accessory pockets, shoulder strap
- **Mounting bracket**
 - Mounts to pole or any surface using any hardware, no tools required
 - Tamper-resistant hardware compartment
 - Rotate bracket for additional 12" of mounting height
 - Aluminum with black powder coat
 - Sign can be locked into bracket
 - Bolt sign to mounting bracket for additional security
 - Mounting hardware supplied
- Internal radar allowing for speed display, speed dependent messaging and speed and volume data collection – SpeedAlert 24 radar message sign
- Drive Times sensor-free Time to Destination Service
 - Travel time data sent to sign every minute

Warranty

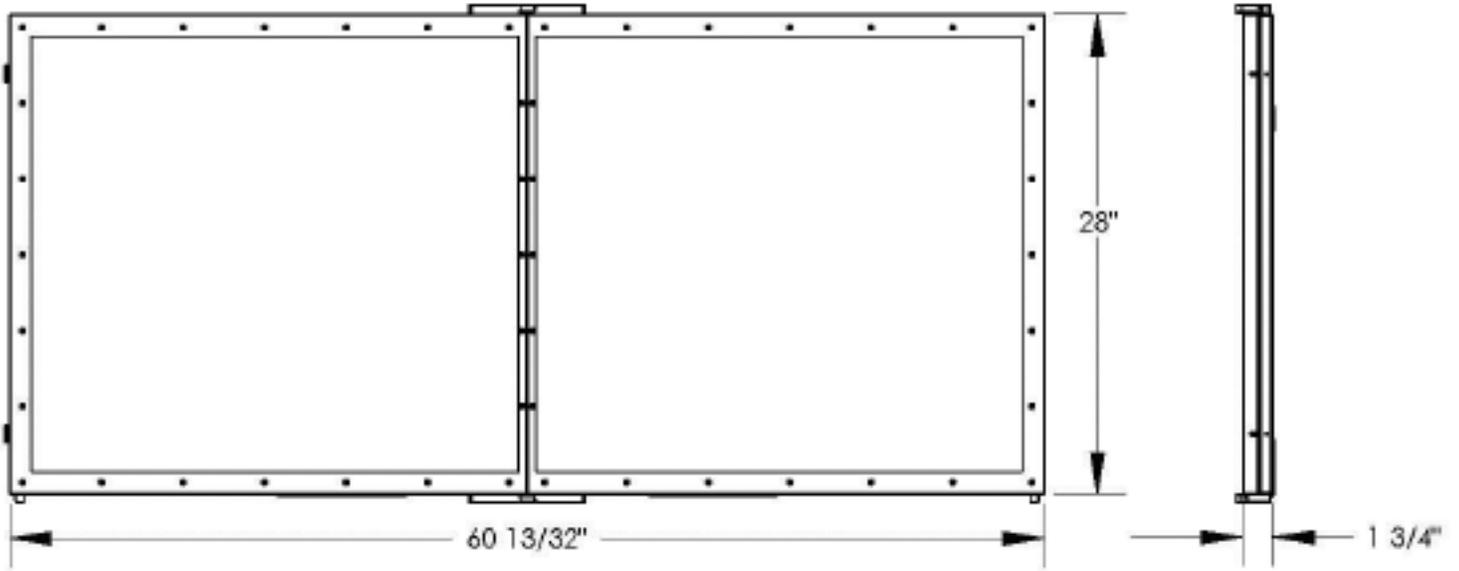
- PremierCare Perpetual Warranty available with current TrafficCloud subscription. Includes hardware defect repairs for the entire lifespan of your ATS products and discounts on accessories and other repairs
- ATS 3-year Manufacturer's Warranty comes standard on all InstAlert variable message signs



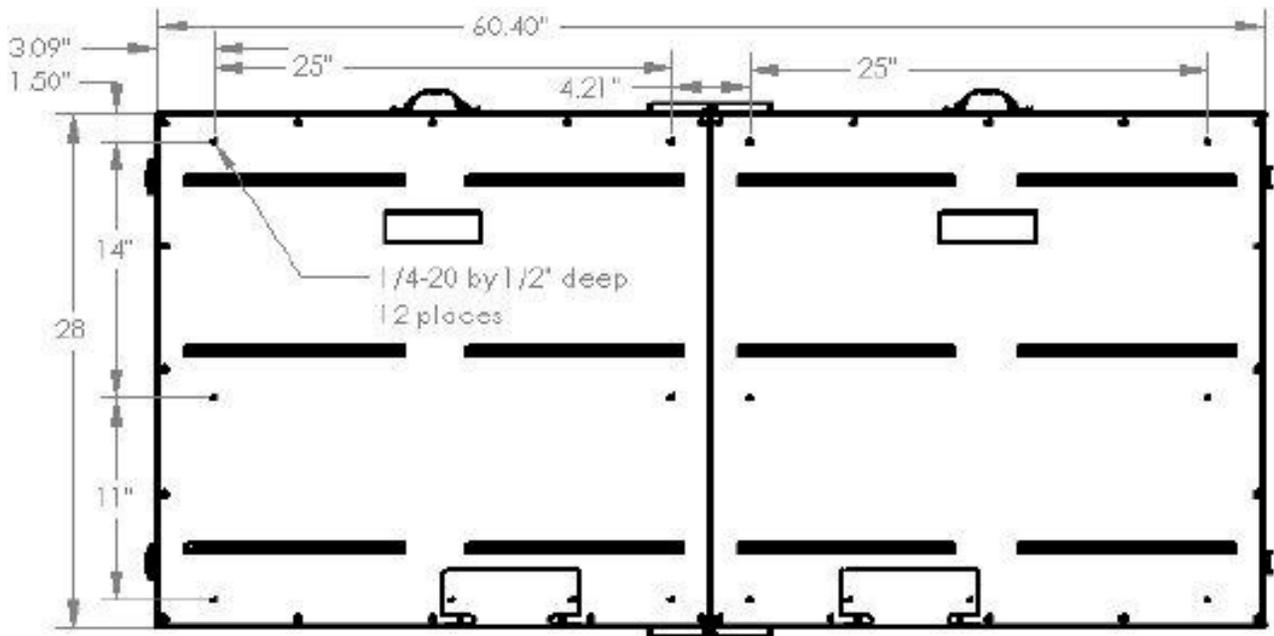
INSTALERT DIMENSIONS: FOLDED



DIMENSIONS: MOUNTING PLATE



INSTALERT 24 DIMENSIONS: OPEN



MOUNTING HOLE POSITIONS

For more information visit us online

 sales@alltrafficsolutions.com  Call ATS on 866.366.6602

All Traffic Solutions, 14201 Sullyfield Circle, Suite 300, Chantilly, VA 20151

©All Traffic Solutions TraffiCloud leverages our patented technology (US Patents 8417442; 8755990; 9070287; 9411893) to deliver unique cloud-based management, features and functionality. TraffiCloud is a registered trademark of All Traffic Solutions.

ALL TRAFFIC
SOLUTIONS



ALL
STOP

DANGER
⚠

Small cardboard boxes on a counter.



HALEY WARD®

APPLICATION FOR DESIGN REVIEW

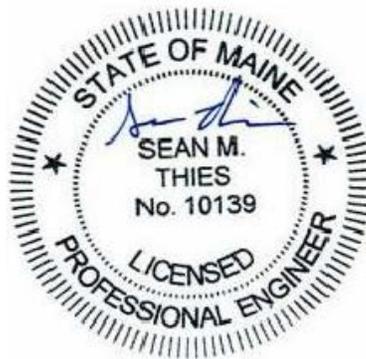
**TO THE TOWN OF BAR HARBOR, MAINE
FOR HANNAFORD SUPERMARKET**

Map 104, Lot 242 | Bar Harbor, Maine

APPLICANT:

HANNAFORD BROS. CO, LLC

PO Box 1000 | Portland, Maine 04101



JULY 31, 2025
JN: 12418.032

PREPARED BY:

Haley Ward, Inc.

One Merchants Plaza, Suite 701 | Bangor, Maine 04401



TABLE OF CONTENTS

DESIGN REVIEW BOARD APPLICATION

Agent Authorization
Narrative

EXHIBITS

Exhibit A Photolog
Exhibit B Drawings
 Proposed Site Plan and Details
 Hannaford – Bar Harbor Exterior Renderings



**Town of Bar Harbor
Design Review Board Application —
Certificate of Appropriateness**

DRB Application Number:

Date:

Map & Lot:

MAP 104/LOT 242

Project Address: 86 COTTAGE STREET

Applicant Name: HANNAFORD BROS. CO, LLC Address: PO BOX 1000

City: PORTLAND State: MAINE

Email: JMLORD560@GMAIL.COM

Phone: (603) 502 3650

Property Owner Name: COUGH BROTHERS, INC. Address: PO BOX 1330

City: SALISBURY State: NORTH CAROLINA

Email:

Phone:

Architect/Designer Name: HALEY WARD, INC. Address: ONE MERCHANTS PLAZA, SUITE 701

City: BANGOR State: MAINE

Email:

Phone: (207) 989 4824

TYPE OF PROJECT

- | | |
|--|--|
| <input type="checkbox"/> Demolition or Relocation of Historic Building | <input checked="" type="checkbox"/> Changes to Exterior Appearance of Nonhistoric Building |
| <input type="checkbox"/> Changes to Exterior of Appearance of Historic Building | <input type="checkbox"/> Installation or Changes in Outdoor Storage/Display/Vending Machines |
| <input type="checkbox"/> Construction of New Building or Expansion of Nonhistoric Building | <input type="checkbox"/> Installation or Changes in fences and freestanding walls |
| <input type="checkbox"/> Installation or Changes in an internally illuminated sign or awning | |

FEE

Project Cost: \$ > 1 MILLION

\$ 31.00 for Residential and Commercial projects less than 1 million.

\$ 66.00 Commercial projects more than 1 million

PLEASE BE ADVISED: A building permit must be obtained prior to the construction and/or installation. Contact the Code Enforcement Office with any questions regarding the building permit process at (207) 288-3329

NOTE: Applications are due 14 days in advance of the next regularly scheduled Design Review Board meeting.

J Merrill Lord

Signature of Applicant

N/A - Ground lease in effect with no change

Signature of Owner (if different from Applicant)

**Town of Bar Harbor
Design Review Board
Required Application Materials
Section 125-114**

Brief Project Description:

Please provide a brief description of the project.

TWO ADDITIONS TO THE HANNAFORD SUPERMARKET BUILDING IN DOWNTOWN VILLAGE II. PLEASE SEE
ATTACHED NARRATIVE FOR A MORE DETAILED DESCRIPTION.

Road Frontage: 266'-5 3/4" Open Seasonally Open Year Round

ALL Applications must include:

Please provide materials in the order listed below and check the "provided?" column.

	Requirement	Provided?		Reserved for Planning Staff Review
		Y	N	
1	NARRATIVE —Description of the building's use, location, set-backs, adjacent structures, dimensions, materials, colors, etc.	X		
2	PHOTOS OF EXISTING BUILDING —color photographs or simulations of the existing building, structure, or site showing all facades that can be seen from the public street.	X		
3	PHOTOS OF ADJACENT PROPERTIES —color photographs or simulations of the adjacent buildings to the subject property, including those across the street and next door. These photos should depict setbacks from the street, building heights, front façade proportions, building scaping and materials, and existing patterns and relationships.	X		
4	DETAILED PLANS —Drawings, photos, or simulations of proposed changes that are planned for the property. This should depict all sides of the new structure that will be visible from the road.	X		
5	SCALED SITE PLAN —Scaled drawing, photo, or simulation of the site showing all proposed and existing structures , including fences, buildings, storage areas, etc. This site plan should take required property setbacks into account.	X		
6	MATERIALS —Details of all external materials, including type, color and composition. Paint chips or product samples shall be provided for each addition.	X		
7	LIGHTING —Details of any new or proposed changes to lighting and lighting levels.		X	

If NO was selected in the above table for any of the requirements, please describe why it was not included.

NO CHANGES WILL OCCUR TO THE LIGHTING. THE EXISTING LIGHTS WILL BE RESET FOR THE ADDITION.

**Town of Bar Harbor
Design Review Board
Required Application Materials
Section 125-114**

Are you Demolishing or relocating a historic building?

No Yes

If no, you have completed the application.
If yes, please provide the documents requested in the table below.

Required Submittals for Demolition or Relocation of a Historic Building ONLY:

In addition to the table on page 2, please provide materials in the order listed below and check the "provided?" column

Requirement		Provided?		Reserved for Planning Staff Review
		Y	N	
1	STATEMENT FROM DESIGN PROFESSIONAL —Please provide a statement from an engineer or architect outlining the structural condition of the building, the condition of the building systems, and issues with the renovation or use of the building that affect the feasibility of renovation or relocating the building.			
2	MSHP NOTIFICATION —Please provide written evidence that the Maine State Historic Preservation Office and local historical organizations have been notified of the application for a Certificate of Appropriateness to demolish the building and copies of any correspondence with or from these groups.			

If NO was selected in the provided section for any of the requirements above, please describe why it was not included.

**Town of Bar Harbor
Design Review Board
Findings for Deliberations Checklist**

Section 125-114 – Design Review Standards:

In reviewing an application for a certificate of appropriateness, the DRB shall approve the issuance of a certificate if it finds the application and proposed activities are consistent with the following standards, or that they will be consistent as a result of conditions of approval imposed on the application.

In reviewing applications the Board shall consider the appropriate sections of each of the following categories and shall find the project in conformance with all relevant provisions before approving the issuance of a certificate of appropriateness.

The Board finds that the proposal meets:	Yes	No	N/A
a. Standards relating to visual compatibility	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Standards for materials and design details for structural projects	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Standards for materials and design details for accessory projects	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Standards for signs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Standards for historic buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Standards of Visual Compatibility:

The proposal must meet each of the following requirements, as applicable, in order to meet the Visual Compatibility standards of Section 125-114(B):

	Yes	No	N/A
1. The height of a new building, addition, or a modification to an existing building would be visually compatible with adjacent buildings as seen from public streets.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Where there is an established pattern of building height, the height, or apparent height, of a new, expanded, or modified building as seen from the public street would maintain a complementary pattern.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The size and mass of a building in relationship to the site and surrounding features would visually complement the buildings, squares, and places to which it is visually related.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Where there is an established pattern of building size or scale as viewed from a public street, the addition of a new building, or modification to an existing building, would be designed to maintain the existing pattern.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. The design of the building would visually complement the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. The façade facing the street would incorporate pedestrian-scale design features such as doors and windows to create a character that complements the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Windows, or architectural treatments designed to simulate Windows, would comprise no less than 20% of the exterior wall surface.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. The façade would avoid large areas of blank wall space.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. A ground floor façade facing a public street would incorporate arcades, display windows, awnings, or other features that add visual interest to the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. A building used for retail or other public uses would be designed to have clearly defined entrances that are visually compatible with the visual character of the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. The roof would be designed to complement the overall visual character of the district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. If there is an established pattern of rooflines, a new buildings roofline would be similar to adjacent buildings.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- b. If there is not an established roofline pattern, the new building would have a pitched or gabled roof, or false front, or other design element which would create the appearance of a pitched roof.
- c. Accessory buildings, canopies, and other structures would have a visually compatible roofline with the principal building.
- 9. Treatment to the accessory building and structures would be compatible with the principal building and would use similar materials, details, and level trim.
- 10. A new building with more than 5,000 square feet of area on the first floor would be designed so that the scale is visually compatible with the character of the district.
- a. The overall mass of the building would be visually broken into smaller elements through the physical layout of the building and/or design of the façade.
- 11. The ratio and width of the front or street façade to the building height would complement the visual character of the district.
- 12. If an established pattern of façade proportions exists, a new or modified building would maintain the established pattern.
- 13. The ratio of the width of windows to the height of the windows would complement the visual character of the district.
- 14. A modification to an existing building would maintain the existing proportionality.
- 15. A modification to an existing façade which would change or eliminate windows would be done in a manner that maintains the established relationship of windows to wall.
- 16. A new or modified building would maintain an established pattern of window proportions among a group of buildings
- 17. If an established pattern exists with respect to the placement of buildings on the lot vis-à-vis the side lot lines, a new or modified building would reflect the established pattern to the extent allowed by the setback provisions of the district in which they are located.
- 18. A new or modified building or structure would visually complement

neighboring buildings, the overall character of the district, and any other buildings to which it is visually related to the extent permitted by the setback requirements of the district in which it is located.

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 19. If there is an established front setback pattern, a new building would be located to maintain the established pattern. If no there is no pattern, a new building would be located in a manner that is compatible with the overall character of the district. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. A new building would be located on a lot so that the setback from the street is no more than the average of the setbacks for buildings in similar locations in the district. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 21. If located on a corner lot, the setback relationship on both streets would be maintained. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 22. If a sidewalk exists in front of the parcel, the site would be designed to provide for pedestrian access to the front entrance of the building without the need to cross parking areas or access drives. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 23. The walkway to the front entrance of the building would be constructed with materials that would contrast with the paving of areas intended for vehicular travel. The walkway would also provide safe and inviting access to the building that is visually compatible with other pedestrian facilities in the neighborhood. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 24. If a sidewalk along the street is interrupted or crossed by a proposed driveway, access road, or other vehicular facility, the sidewalk material would be maintained across the driveway, or another visually compatible method used to clearly delineate the sidewalk from the drive. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 25. The location and design of facilities for motor vehicles, including parking lots, driveways, access road, drive-through facilities, and service/fueling areas would visually complement the overall character of the district. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| a. The vehicular facility would not be located between the front of the building and the street. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. The access drive, driveway, entrance/exit to drive-through services would not pass between the building and the sidewalk where a sidewalk exists. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

- c. A parking lot would be located to the side or rear of a building.

- d. Overhead doors and service areas would be located on the side or rear of the building and would be screened from view from a public street

- e. Drive-through services would be designed to keep vehicular activity to the side and/or rear of the building and would prevent the queuing of vehicles between the front of the building and the street or in other areas where it is visually incompatible.

Standards for Materials and Design Details for Structural Projects:

The proposal must meet each of the following requirements, as applicable, in order to meet the Standards for Materials and Design Details for Structural Projects in Section 125-114(C):

	Yes	No	N/A
1. Siding materials that enhance the visual and architectural quality of the structure would be applied. The selected siding would also be visually compatible with other exterior finishes on the building and with those buildings to which it is visually related.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. The siding would be of a material that is commonly used in the overlay district.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The color of the exterior finish would complement the architectural style of the structure as well as the period it was built. The colors would also reflect hue and shades which were available in the era and style depicted, and the colors would blend with the immediately adjacent structures in the area.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. The style and size of the windows would be proportional and visually compatible to the buildings in the overlay district and would maintain the architectural continuity of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. The window would be constructed of wood, vinyl or lead, or would be of synthetic material that simulates such traditional materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. The door would be visually compatible with the structure.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. The primary entry door to a store would be recessed from the property line so as that it does not interfere with pedestrian traffic.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. If consistent with the established pattern of other entrance doors, the door would have a transom above the full height of the store windows.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. If visible from the public street, the roof would be visually compatible with the style of the building and the other exterior finishes and colors.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. If visible from the street, the roof would not be brightly colored metal, plastic, or fiberglass.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. The trim would be visually compatible with the style of the building and other exterior finishes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. The trim would be made from materials such as wood, stone, brick, vinyl, and metal, or other synthetic materials that appear as such and are compatible with the overall building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- 13. The entrance to the building would be visually compatible with the overall building treatment and would be the focal point of the façade.
- 14. An awning or canopy would be attached to the structure and would function as an extension of the building and shall be compatible with the visual character of the district.
- 15. The entrance materials would be made of wood, vinyl, tile, stucco, stone, brick, concrete, canvas, fiberglass, and metal (or other materials that are visually compatible with the overall building).

Standards for Seasonal Closures:

- 1. Measures for seasonal closure would be compatible with the building and architecturally similar to the building materials, design, and color.
- 2. The measures would also fit appropriately in the space being enclosed and would be safely attached and secured.
- 3. The measures for seasonal closure would be neat and clean in appearance.
- 4. The closure provisions would not include materials such as bed sheet, paper, tarps, cardboard, bubble wrap, or painted glass.
- 5. Signs left in place would not be covered.

Standards for Materials and Design Details for Accessory Projects:

The proposal must meet each of the following requirements, as applicable, in order to meet the Standards for Materials and Design Details for Accessory Projects in Section 125-114(D):

	Yes	No	N/A
Awnings, Sunscreens, and Canopies			
1. The awning, sunscreen, or canopy would be visually compatible with the building and its surrounding area with respect to topography.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. The awning, sunscreen, or canopy would be necessary given the unique circumstances of the property, and would be compatible with similar elements of adjacent properties and is	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The awning, sunscreen or canopy would be designed so that it will not cover unique or architecturally significant building features.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Letter or graphics on the awning or canopy would be placed on a valance of no more than 12 inches attached to the awning bar.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. The graphics on an awning or canopy or valance would comply with signage requirements of Section 125-66(BB)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. The awning would extend the full width of the existing window and door frames on the first floor.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Awnings proposed on the upper-floor would be installed over individual windows and would complement the window design, building architecture, and color.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Canopies or awnings would be attached to the building and would not Extend more than 12 feet from the wall to which they are attached.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. A street level awning would be at least 18 inches behind the curb.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. The color of an awning would be compatible with the overall design of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscaping			
1. Landscaping materials and vegetation would be visually compatible with the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Landscaping would not block unique architectural features of the building or appear disproportional to the lot and building size.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Standards for Historic Buildings:

The proposal must meet each of the following requirements, as applicable, in order to meet the Standards for Historic Buildings in Section 125-114(E):

	Yes	No	N/A
1. If a building or structure classified as historic would be moved, reconstructed, or altered it would be maintained in a manner which would preserve the architectural character of the building, structure or appurtenance.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Demolition would be necessary as the owner has produced evidence that the preservation of the building is not consistent with the purposes of Section 125-114(E), or that the building cannot be preserved because of the structural condition of the building, or the cost of renovations would make its retention infeasible.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. The structure would be relocated to another site if the existing site is not consistent with the purposes of Section 125-114(E), and the building cannot be preserved because of the structural condition of the building or the cost of renovations would make retention of the building infeasible.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Any modification to a historic building would retain all of its original features to the maximum extent feasible. Any modifications would also maintain the architectural style and treatment of the original building.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. When renovating or expanding a historic building the materials would match the original materials in texture, dimension, color, location and design.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Existing features such as porches, steps, handrails, balusters, cornices, columns, lintels, windows, fixtures, hardware, doors, and roofs would be retained.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. The design or any modification or addition to the existing building would maintain the architectural style of the existing building and would conform to the existing treatment with respect to trim and exterior finishes.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Handicapped access would be located and constructed so as not to obscure the character defining features of the entranceway or porch.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Porches or steps would not be enclosed in a manner that destroys their intended purpose.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. The selected paint colors would be consistent with Subsection C(1)(b).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



HANNAFORD SUPERMARKETS

AGENT AUTHORIZATION

July 21, 2025

Re: Agent Authorization for Proposed Hannaford Additions

Dear Sir/Madam:

Hannaford Bros. Co. LLC and its related entities (Hannaford) is requesting approval of two small additions as part of a remodel for its store in Bar Harbor Maine.

J M Lord, Maple Rock LLC, 560 South Road, Rye Beach, NH 03871

&

Haley Ward, One Merchants Plaza, Suite 701, Bangor Maine 04401

are both authorized to attend regulatory meetings and speak on Hannaford's behalf, prepare and sign permit applications and obtain all regulatory approvals necessary for the Hannaford remodel project. This agent authorization expires on December 31, 2025. If you have any questions or concerns, please contact Elizabeth Finegan at 207-807-8867 or Elizabeth.Hobbs@hannaford.com.

Sincerely,

Mary E. Gamage
Director of Real Estate, Hannaford

DocuSigned by:
Mary Gamage
1AF0089B92B1475...



APPLICATION NARRATIVE

This narrative has been prepared in accordance with *the Town of Bar Harbor's Design Review Board Application Requirements*, for Hannaford Bros. Co, LLC (Applicant) who is proposing two additions to the existing Hannaford Supermarket building at 86 Cottage Street, Bar Harbor, ME. The project is located in Downtown Village II and is an approximately 1.81-acre parcel depicted as Tax Map 104, Lot 242. The current building's use is defined as Supermarket MDL-94. There will be no change to the defined usage of the property.

The proposed expansion includes a small addition to the south face of the building to expand the mechanical room and an addition to the north face of the building for a produce cooler and dry storage. Building additions will be constructed over existing paved surfaces, resulting in no increase to the current impervious area. The proposed addition on the north end of the building will have approximate dimensions of 51 feet (ft) in width and 17 ft in depth, totaling approximately 867 square feet (SF). This addition will be flush with the existing front of the building. The proposed addition on the south side of the building will measure approximately 16 ft in width and 14 ft in depth, adding approximately 224 SF to the building, and will also be cohesive with the existing building facade. Please refer to the Proposed Site Plan and Details in **Exhibit B** for the location of the proposed additions.

The minimum setback requirements for this lot are as follows:

The front of the property must have 10 ft of space for buildings up to 30 ft in height. The rear of the property must have 20 ft of space for buildings on any yard that abuts a residential district, 10 ft for accessory structures and parking on any yard that abuts a residential district, and 5 ft elsewhere. There are no setbacks for the sides of the property. The maximum allowable lot coverage for buildings up to 30 ft high is 90%.

The adjacent structures to the property include the Bar Harbor Town Office across Cottage Street, Machias Savings Bank and Bob's Bar Harbor Auto Repair to the west of the property. Additionally, there is a private drive that runs along the west side of the property and provides access to residential properties located south of the property. The abutting properties to the east include Jordan's Restaurant and residential properties. The south end of the property abuts residential lots. Please refer to the photolog in **Exhibit A** of the surrounding structures.

The required parking for retail stores is two parking spaces for every 1,000 SF of gross leasable area. Based on the building's total area of 27,095 SF, 54 spaces are required. As of July 21, 2025, there are 81 parking spaces in use, including three ADA-compliant spaces. Following the proposed building additions, the total number of spaces will be 78 total parking spaces and four ADA-compliant spaces. Please refer to the Proposed Site Plan and Details provided **Exhibit B** for further details.

The siding materials for the additions will match the building's existing siding. A new roof structure will be added above the main entrance. Additionally, updated paint colors will be applied to the siding and trim of the building. No changes to the lighting on the exterior of the building will occur. See the Hannaford – Bar Harbor Exterior Renderings provided in **Exhibit B** for materials and paint colors.



EXHIBIT A
PHOTOLOG



MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE

Photo No. 1	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Front face of the building from the parking lot.	
Photo By: SEA	

Photo No. 2	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: East facing main entrance.	
Photo By: SEA	



MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE

Photo No. 3	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: East portion of the front face of the building.	
Photo By: SEA	

Photo No. 4	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Central portion of the front face of the building.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 5	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: West side of the front face of the building. Proposed location of the addition on the front of building.	
Photo By: SEA	

Photo No. 6	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: West side of the front face of the building.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 7	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: East side of the building. Clynk box included.	
Photo By: SEA	

Photo No. 8	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: East side of the building.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 9		
Photo Date: 07/21/2025		
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME		
Description: West side of the building and private road access.		
Photo By: SEA		

Photo No. 10		
Photo Date: 07/21/2025		
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME		
Description: West side of the rear face of the building.		
Photo By: SEA		



MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE

Photo No. 11	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Rear of building.	
Photo By: SEA	

Photo No. 12	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Rear of building from the West side of the property.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 13	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Rear of building. Location of proposed rear addition.	
Photo By: SEA	

Photo No. 14	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Private road access located on the west side of the rear of the building.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 15	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Abutting property on the west side of the building. Bob's Bar Harbor Auto Repair.	
Photo By: SEA	

Photo No. 16	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Abutting property on the west side of the building. Bob's Bar Harbor Auto Repair.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 17	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Abutting property on the west side of the building. Machias Savings Bank.	
Photo By: SEA	

Photo No. 18	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Abutting property across Cottage Street. Bar Harbor Town Office.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 19	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Property across Cottage Street in the Northeast direction. The Ovens Restaurant.	
Photo By: SEA	

Photo No. 20	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Abutting property on the east side of the parking lot. Jordan's Restaurant.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 21	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Abutting property on the east side of the building.	
Photo By: SEA	

Photo No. 22	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: East side of the parking lot.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

Photo No. 23	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: Abutting property on the east side of the rear of the property. Residential lot.	
Photo By: SEA	

Photo No. 24	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: View of parking lot from the east side.	
Photo By: SEA	



**MAPLE ROCK LLC
BAR HARBOR HANNAFORD EXISTING SITE**

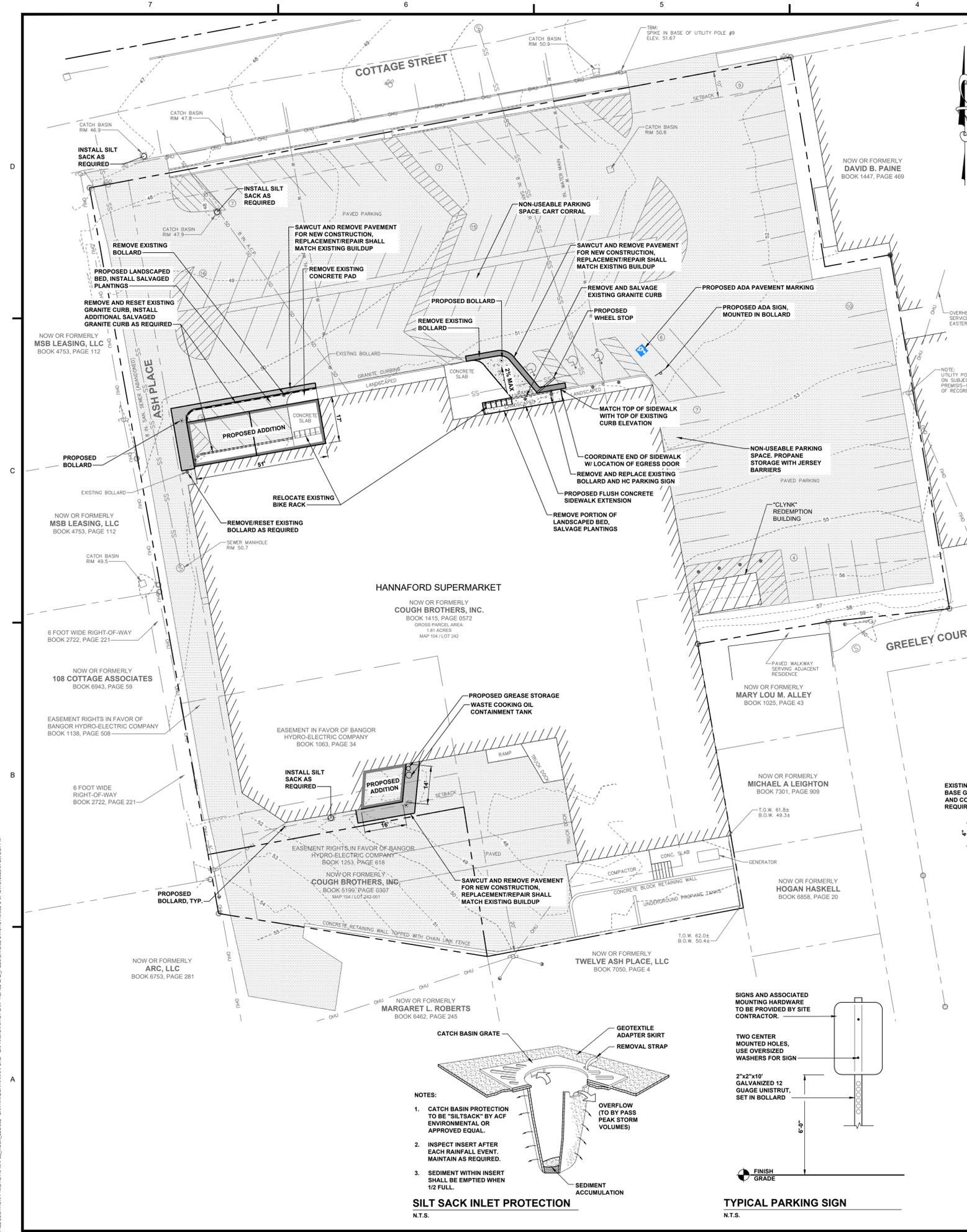
Photo No. 25	
Photo Date: 07/21/2025	
Site Location: Hannaford Supermarket 86 Cottage Street, Bar Harbor ME	
Description: View of parking lot from the west side.	
Photo By: SEA	



EXHIBIT B

DRAWINGS

*Proposed Site Plan and Details
Hannaford – Bar Harbor Exterior Rendering*



GENERAL CONSTRUCTION NOTES

- CONTRACTOR TO PROVIDE OWNER AND ENGINEER WITH A WORK PLAN OUTLINING THE WORK SCHEDULE, TRAFFIC CONTROL PLAN, AND WORK AREA BARRICADING PLAN TO BE APPROVED BY THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES PRIOR TO COMMENCING WORK TO ALLOW SUFFICIENT TIME TO LOCATE AND MARK THE LOCATION OF ALL BURIED UTILITIES. CONTRACTOR SHALL ALSO CONTACT "DIG SAFE", TELEPHONE NO 811 OR 888-DIG-SAFE. REPAIR OF ANY DAMAGED UTILITY WILL BE INCIDENTAL TO THIS PROJECT
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY CONDITION OR OCCURRENCE THAT REPRESENTS A CHANGE IN PROJECT SCOPE. VERBAL NOTIFICATION IS REQUIRED PRIOR TO PROCEEDING WITH THE WORK OF THE PROJECT AND WRITTEN NOTIFICATION MUST BE PROVIDED. REQUESTS FOR FEE ADJUSTMENTS WILL NOT BE CONSIDERED UNLESS PROPER NOTICE IS GIVEN
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS AS REQUIRED TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS. PERMIT APPLICATIONS SHALL BE SUBMITTED WITH ADEQUATE TIME SO AS NOT TO DELAY CONSTRUCTION.
- THE CONTRACTOR SHALL SUPERVISE AND INSPECT THE WORK OF THIS PROJECT IN AN EFFICIENT AND COMPETENT MANNER. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. A REPRESENTATIVE OF THE GENERAL CONTRACTOR SHALL BE PRESENT DURING ALL PHASES OF THE WORK.
- SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. PERFORM ALL WORK IN ACCORDANCE WITH SAFETY STANDARDS OF APPLICABLE LAWS, BUILDING AND CONSTRUCTION CODES, THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND THE REQUIREMENTS OF TITLE 3 OF THE CODE OF FEDERAL REGULATIONS, PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION".
- THE LOCATION, TYPE AND SIZE OF EXISTING PIPES, DUCTS, CONDUITS AND OTHER UNDERGROUND STRUCTURES SHOWN ON THE DRAWINGS ARE NOT WARRANTED TO BE EXACT NOR IS IT WARRANTED THAT ALL UNDERGROUND STRUCTURES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DEPTH OF SERVICES ARE UNKNOWN AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. EXCAVATING TEST PITS AS NECESSARY TO VERIFY UTILITY LOCATIONS AND DEPTHS SHALL BE INCIDENTAL TO THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING TOPOGRAPHY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- LAYOUT OF THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GRADE AND LAYOUT CONTROL. LAYOUT SHOULD BE PERFORMED WITH SURVEY EQUIPMENT AND OVERSEEN BY A LICENSED SURVEYOR. A CAD FILE WILL BE AVAILABLE TO THE CONTRACTOR.

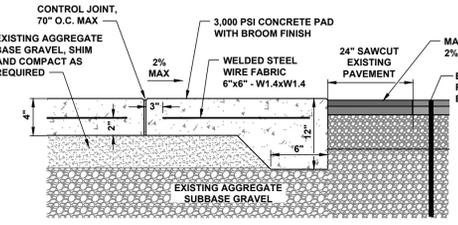
SITE DATA:

PARCEL ID: 104-242-000
 CURRENT USE: SUPERMARKET MDL-94
 ZONING: DOWNTOWN VILLAGE II
 ACREAGE: 1.91
 FLOOD ZONE: NO
 MINIMUM SETBACKS:
 FRONT: 10' FOR BUILDINGS UP TO 30' IN HEIGHT
 SIDE: 0'
 REAR: 20' FOR BUILDINGS ON ANY YARD THAT ABUTS A RESIDENTIAL DISTRICT, 10' FOR ACCESSORY STRUCTURES AND PARKING ON ANY YARD THAT ABUTS A RESIDENTIAL DISTRICT, 5' ELSEWHERE
 LOT COVERAGE: 90% FOR BUILDINGS UP TO 30' HIGH

BUILDING ADDITIONS ARE TO BE CONSTRUCTED OVER EXISTING PAVED SURFACES, NO INCREASE TO IMPERVIOUS AREA IS PROPOSED.

PARKING SUMMARY:

RETAIL STORES: 2 PARKING SPACES FOR EVERY 1,000 SF OF GROSS LEASABLE AREA
 27,098 SF / 1,000 x 2 = 54 SPACES (REQUIRED)
 CURRENT PARKING COUNT: 81 SPACES
 PROPOSED PARKING COUNT: 78 SPACES
 REQUIRED ADA SPACES: 4
 PROVIDED ADA SPACES: 4



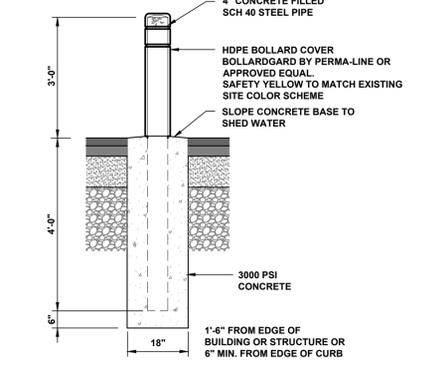
TYPICAL FLUSH CONCRETE SIDEWALK
N.T.S.



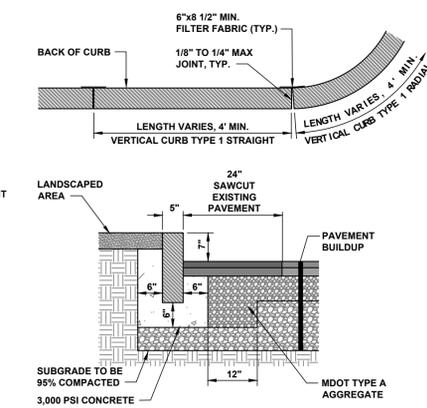
TYPICAL ASPHALT PAVEMENT GRINDING
N.T.S.

GENERAL NOTES:

- CONSTRUCTION SHALL BE PLANNED AROUND DELIVERIES AND GENERAL PUBLIC TO ENSURE ACCESS IS MAINTAINED. COORDINATE WORK WITH OWNER, BUSINESS HOURS AND WITH DELIVERY SCHEDULES.
- CARE SHALL BE TAKEN WITH BIKE RACK DISASSEMBLY IN AN EFFORT TO PRESERVE EXISTING RACK AND MOUNTING HARDWARE. BIKE RACK SHALL BE RE-LOCATED USING THE SAME INSTALLATION / MOUNTING METHOD. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS AS NEEDED, MAINTAIN EXISTING CLEARANCES FROM EDGE OF STRUCTURES AND WALKWAYS.
- SALVAGED PLANTINGS SHALL BE RE-INSTALLED IN NEW PLANTING BED USING THE SAME SPACING AND ARRANGEMENT AS EXISTING.
- FOOTPRINT / DIMENSIONS OF PROPOSED ADDITIONS SHOWN ON ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER WHAT IS SHOWN ON THIS PLAN, COORDINATE WORK WITH OTHER TRADES.



STEEL BOLLARD
N.T.S.



GRANITE CURB
N.T.S.



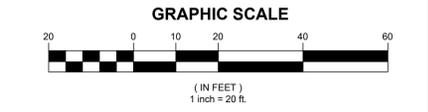
LOCATION MAP: USGS QUADRANGLE: BAR HARBOR
 MAPTECH® USGS TOPOGRAPHIC SERIES™
 ©MAPTECH, INC. 978-933-3000
 WWW.MAPTECH.COM/TOPO

LEGEND:

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
BENCHMARK	⊕	⊕
SURVEY STATION	⊕	⊕
MANHOLE	⊕	⊕
UTILITY POLE	⊕	⊕
SIGN	⊕	⊕
CATCH BASIN	⊕	⊕
HYDRANT	⊕	⊕
EDGE OF PAVEMENT	---	---
CURBING	---	---
MAJOR FOOT CONTOUR	---	---
MINOR FOOT CONTOUR	---	---
WATERLINE	---	---
STORM DRAIN	---	---
SANITARY SEWER	---	---
OVERHEAD UTILITIES	---	---
UNDERGROUND UTILITIES	---	---
SILT FENCE	---	---
PAVED SURFACE	---	---

PLAN REFERENCE:

- "ALTANS/PS LAND TITLE SURVEY, PROPERTY OF COUGH BROTHERS, INC., 86 COTTAGE STREET, BAR HARBOR, MAINE" PREPARED FOR ANDROSCOGGIN BANK BY PLISGA & DAY, DATED APRIL 6, 2020.
- THIS PLAN IS ON AN ASSUMED COORDINATE SYSTEM.
- EXISTING TOPOGRAPHY SOURCE: MAINE 2021 MIDCOAST LIDAR, AND SHOULD BE CONSIDERED APPROXIMATE.



REV. DATE DESCRIPTION BY CHK.
 DRAWING ISSUE STATUS

ISSUED FOR CONSTRUCTION

PROJECT: **HANNAFORD SUPERMARKET**
 86 COTTAGE STREET, BAR HARBOR, MAINE

TITLE: **PROPOSED SITE PLAN AND DETAILS**

DATE: 2025.07.29 SCALE: 1"=20'
 DRAWN BY: BLQ DESIGNED BY: BLQ/ALF CHECKED BY: ALF
 PROJECT No: 12418.032
 DRAWING No: **C101**

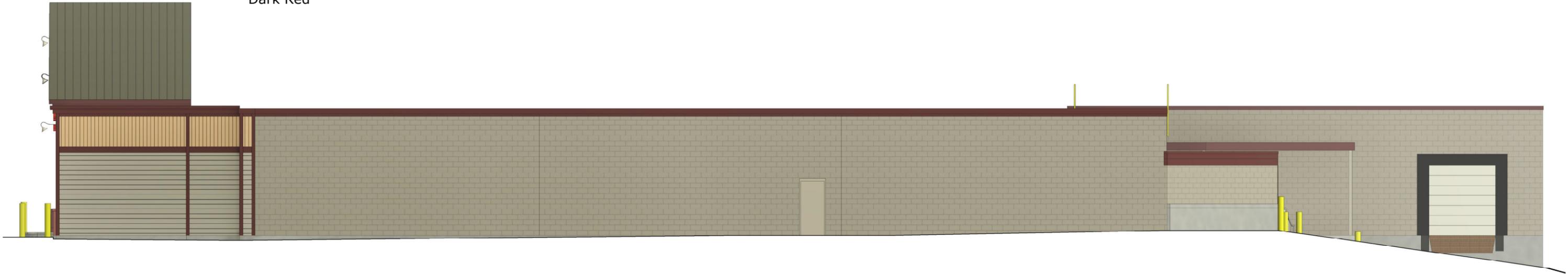
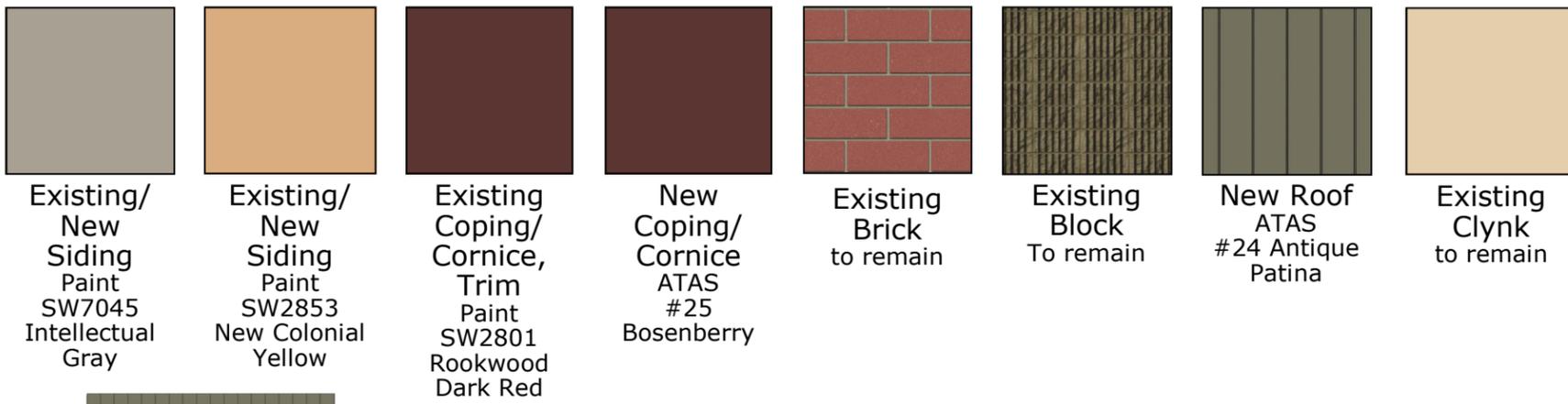
FILE LOCATION: P:\MET1418\MAPLE_BLOCK\100321 - BAR HARBOR\HANNAFORD - EXPANSION SITE PLAN - AUF02-CAD_RELEASE\DWG\DWG12418.032-CIP.dwg, 2025.07.29, 2:24 PM



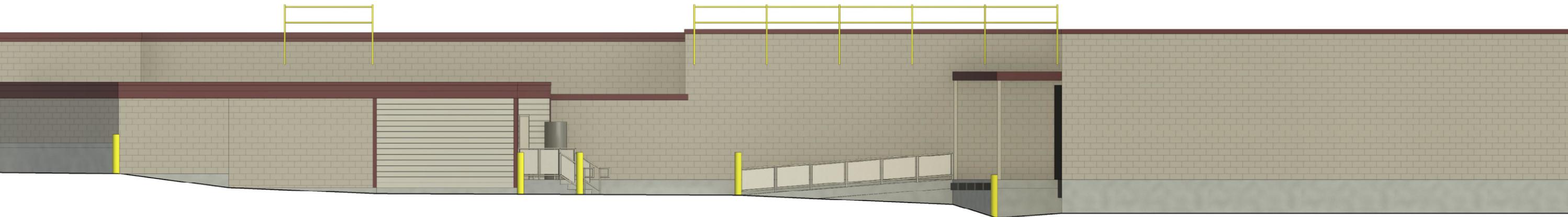
Existing - North



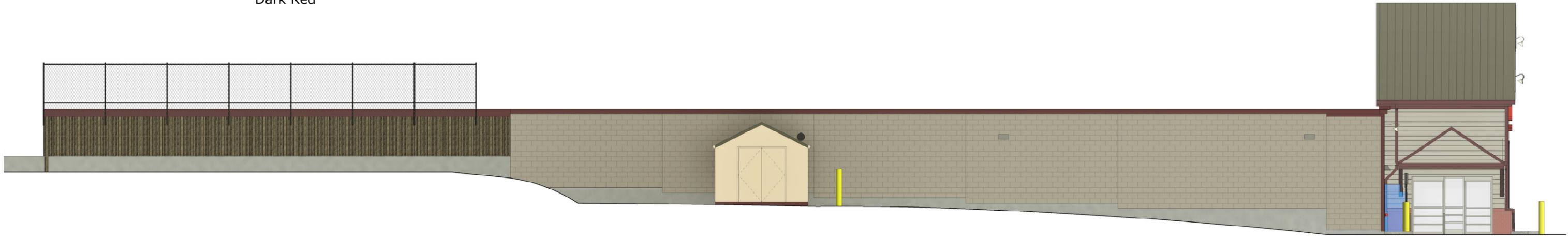
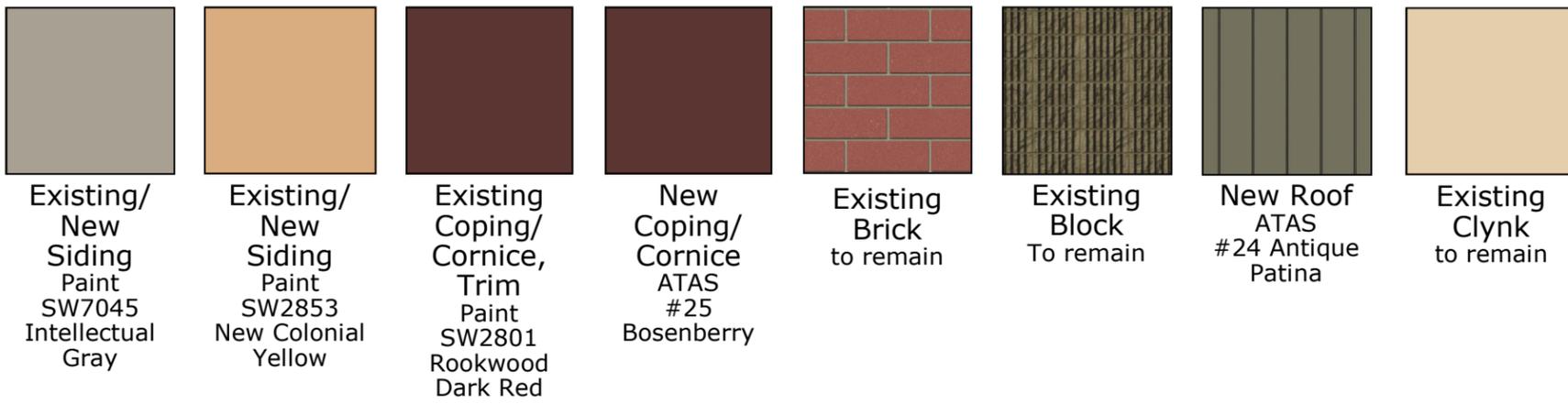
Proposed - North



Proposed - West



Proposed - South



Proposed - East

Permit #: 250028**Permit Type:** Design Review Board**Address:****City:****State:****Zip:****Owner:****Owner Address:****Owner City:****Owner State:****Owner Zip:****Owner Phone:****Owner Email:****Receipt #:** 77**Date:** 08/06/2025**Paid By:** Haley Ward**Description:** Check with payment of Design Review Board Fee**Payment Type:** Check**Payment Type Description:****Accepted By:** Tammy DesJardin**Fees Paid**

Fee Name	Fee Type	Description	Factor	Total Fee Amount	Amount Paid
Large Commercial	Design Review Board	More than 1 million	0.00	66.00	66.00
				Total:	\$66.00