

Building Envelope Consultants raised seal represents that the drawings or planning documents have been approved for construction by the Owner and BEC. They conform to Industry Standards for detailing, and represent an intended concept.

Bar Harbor Town Offices
 Bar Harbor, ME
 Key Plan & South Elevation



191 Stanford St.
 South Portland
 Maine 04106
 1.207.400.0086

Drawn By: TC
 Date: 5-3-11

Bid Set

REVISIONS	
#	Description/Date

A1

Sheet Number

Issued: 5-3-11
 Project No.: 035-10

A SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

General Envelope Notes

- A. All repair work will be completed in accordance to the guidelines outlined in the *Secretary's of the Interiors' Standards for Rehabilitation*, current practices in the construction industry, all national, state, local building codes, and the most recent set of construction documents and specifications by the design team. All revised sketches and addendums issues after the start of repair work will supersede all previous architectural details.
- B. Ensure the safety of all employees and members of sub-contracting teams by following the most current regulations by the Occupational Safety and Health Administration. Submit safety manual prior to start.
- C. Ensure all direct employees or members of sub-contracting teams will behave professional at all time, with no use of inappropriate language or physical gestures.
- D. Coordinate all repair activities as per the master construction schedule, with other sub-trades, and with owner to minimize exposure to pedestrians, vehicles, and adjacent buildings.
- E. Use necessary means to protect all exposed building areas from damage caused by weather events or other environmental situations during the construction process until the repair work is deemed weather-tight. Contractor to use necessary means to protect all exposed buildings areas, adjacent structures, pedestrians, and vehicles from damage caused by construction related activities during the duration of the project. Protect all completed work until final inspection and acceptance by the design team.

- F. Inspect all work outlined on construction documents prior to the beginning of repair efforts. Notify Building Envelope Consultants Inc. project manager within 24 hours if additional scope items are uncovered beyond the scope of the current construction documents.
- G. Contractor to provide material mock-up's for the following items:
 - Pointing mortar.
 - Joint profile.
 - Patching material.
 - Epoxy repair of fracture
 - Masonry cleaning.
 - Removal of cementitious coating
 - Finish mineral paint
- H. Contractor and/or sub-contractors to submit all materials used for construction work for approval prior to the start of work. Ensure all mortar ingredients are fresh with documented dates of manufacture submitted to Building Envelope Consultants Inc. for approval. No lime or cement products shall be older than 6 months from time of manufacturing.
- I. Store all masonry material as per the recommendations of the Brick Industry Association and the Masonry Institute of America.
- J. Contractor to remove general soiling, staining, biological growth, metal stains, paint and salts from masonry during the final cleaning process with specified restoration cleaner. Use plastic bristled brushes and low-pressure water to augment the cleaning process.

Building Envelope Consultants Masonry Scope Key

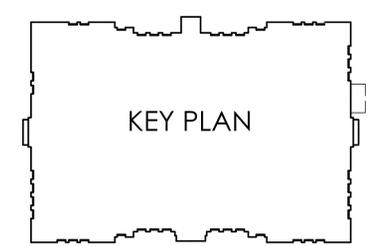
Key Note Legend

- RC - Remove Coating:** Remove existing cement parge coating down to original surface on all existing cast concrete ornamental building elements with an approved low-to-medium pressure air dusting system using crushed walnut shells, blasting silica or glass beads. The masonry contractor is to duplicate existing mock-up procedures approved by Building Envelope Consultants. Apply a finish coating of Mason RE Mineral Coatings COLOR # by Cathedral Stone Products of Hanover Maryland, or approved equal.
- RR - Rake out & Re-point:** Rake out all joints to a minimum depth of 1" minimum as per masonry restoration standards. Over-cutting and widened joints will not be acceptable and will be grounds for dismissal. Unless noted otherwise, re-point joints with a proportionally mixed by weight Type "N" pointing mortar mixture color, texture, and joint profile to match approved mock-up sample by Building Envelope Consultants. Remove residual mortar from adjacent material immediately. Wash cured joints and masonry with a 14:1 mixture of 600 Detergent by Prosoco or approved equal. Additional washes may be necessary to "pop" aggregate to match existing mortar.
- RB - Rebuild:** Disassemble back to solid masonry, remove all loose debris, and rebuild highlighted masonry areas as per industry standards and as per details included here within. Assume all repair areas to be 1 wythe thick. If previously undocumented steel-supporting lintels are found, contact Building Envelope Consultants immediately for consultation. Rebuild areas with clean existing brick or approved new brick. Contractor to follow brick coursing as guide on adjacent masonry not being repaired. Set and point masonry with proportionally mixed by weight Type "N" mortar; color, texture, and joint profile to match mock-up approved by Building Envelope Consultants. Consult details on A5 for the application of caulking in place of pointing mortar. Remove residual mortar from adjacent material immediately. After reconstruction, wash masonry with a 14:1 mixture of 600 detergent by Prosoco or approved equal. Additional washes may be necessary to "pop" aggregate to match existing mortar.
- P - Patch:** Patch deteriorated areas of cast concrete ornamental trim with a standard color mix of Jahn M90 Restoration Mortars by Cathedral Stone Products of Hanover Maryland, or approved equal. All certificates of licensed installers must be filed with Building Envelope Consultants prior to the beginning of work. Follow manufacturers instructions for installation procedures

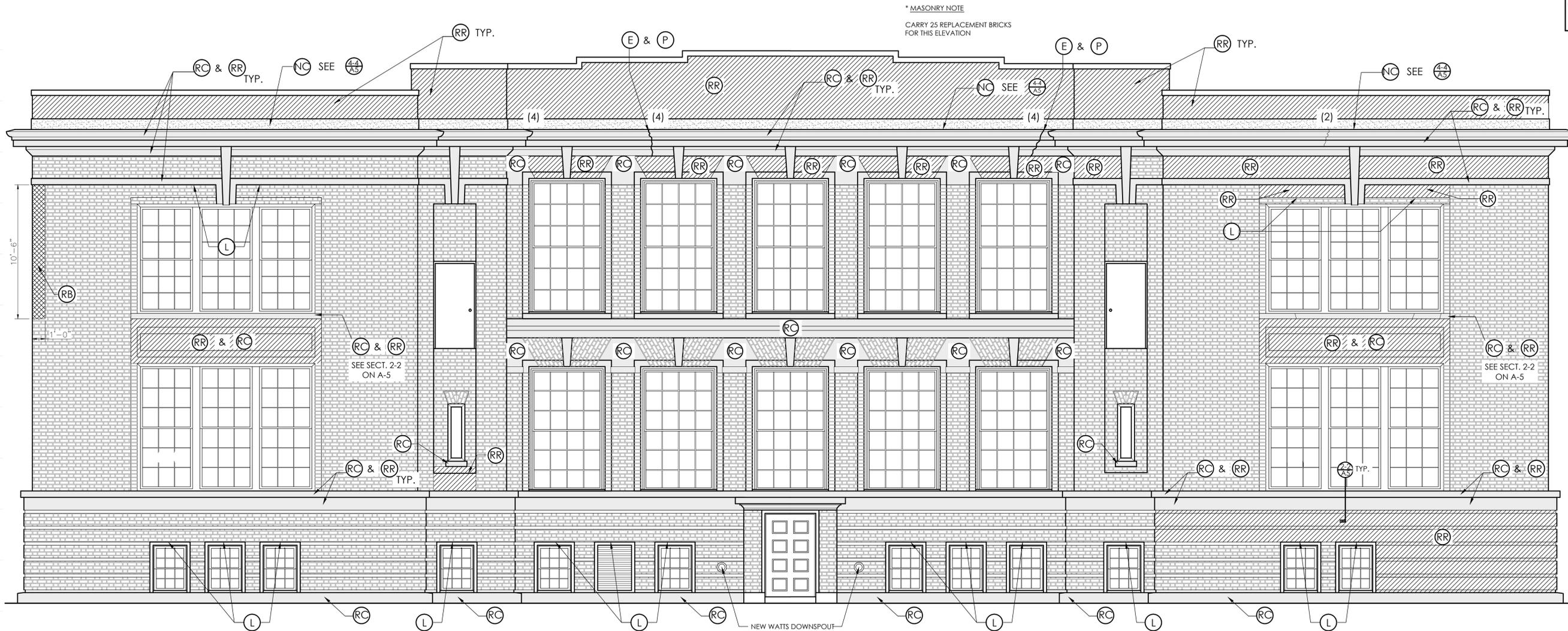
- E - Epoxy:** Epoxy crack injection. Install 4mm S.S. Helical anchors as per Details B & C on A5. Contractor will inject a 2-part epoxy resin such as AKEPOX 1004 by Akemi or approved equal into existing cracks and openings in cast concrete. If cause of cracking is due to structural loading, contact Building Envelope Consultants for additional repair measures. Patch crack opening with a standard color mix of Jahn M90 Restoration Mortars by Cathedral Stone Products of Hanover Maryland, or approved equal.
- CS - Crack Stitch:** Crack stitch openings in brick masonry veneer. Install 4mm stainless steel anchors by Helix Corp. or approved equal. Follow manufactures instructions for bridging cracks or corner stitching.
- NL - New Lintels:** Replace deteriorated lintel with new steel lintel of same size and section. Prime all steel with Rust-Oleum, red #249419, sandable primer. Finish coat lintels with Rust-Oleum, semi-gloss black #239078, enamel paint. Install specified caulking as per Detail A on A5.
- L - Lintels:** Scrape, sand, prime, and coat with rust inhibiting paint. Prime all steel with Rust-Oleum, red #249419, sandable primer. Finish coat lintels with Rust-Oleum, semi-gloss black #239078, enamel paint. Install specified caulking as per Detail A on A5.
- NC - New Copper:** Provide new copper cornice flashing as per Section 4-4 on A5.

SYMBOL LEGEND

	NEW COPPER
	RAKE OUT & REPOINT
	REBUILD
	REMOVE COATING & PATCH
	REMOVE COATING & RAKE OUT & REPOINT
	REMOVE COATING, EPOXY & PATCH
	INDICATES NUMBER OF HELIFIX STITCHING ANCHORS NEEDED TO REINFORCE EPOXY REPAIR. SEE DETAIL C ON A5



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A
A1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Building Envelope Consultants Masonry Scope Key

Key Note Legend

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- NL- New Lintels:** Replace deteriorated lintel with new steel lintel of same size and section. Prime all steel with Rust-Oleum, red #249419, sandable primer. Finish coat lintels with Rust-Oleum, semi-gloss black #239078, enamel paint. Install specified caulking as per Detail A on A5.
- L- Lintels:** Scrape, sand, prime, and coat with rust inhibiting paint. Prime all steel with Rust-Oleum, red #249419, sandable primer. Finish coat lintels with Rust-Oleum, semi-gloss black #239078, enamel paint. Install specified caulking as per Detail A on A5.
- NC- New Copper:** Provide new copper cornice flashing as per Section 4-4 on A5.

SYMBOL LEGEND

	NEW COPPER
	RAKE OUT & REPOINT
	REBUILD
	REMOVE COATING & PATCH
	REMOVE COATING & RAKE OUT & REPOINT
	REMOVE COATING, EPOXY & PATCH
	INDICATES NUMBER OF HELIFIX STITCHING ANCHORS NEEDED TO REINFORCE EPOXY REPAIR. SEE DETAIL C ON A5

Bar Harbor Town Offices
Bar Harbor, ME
North Elevation

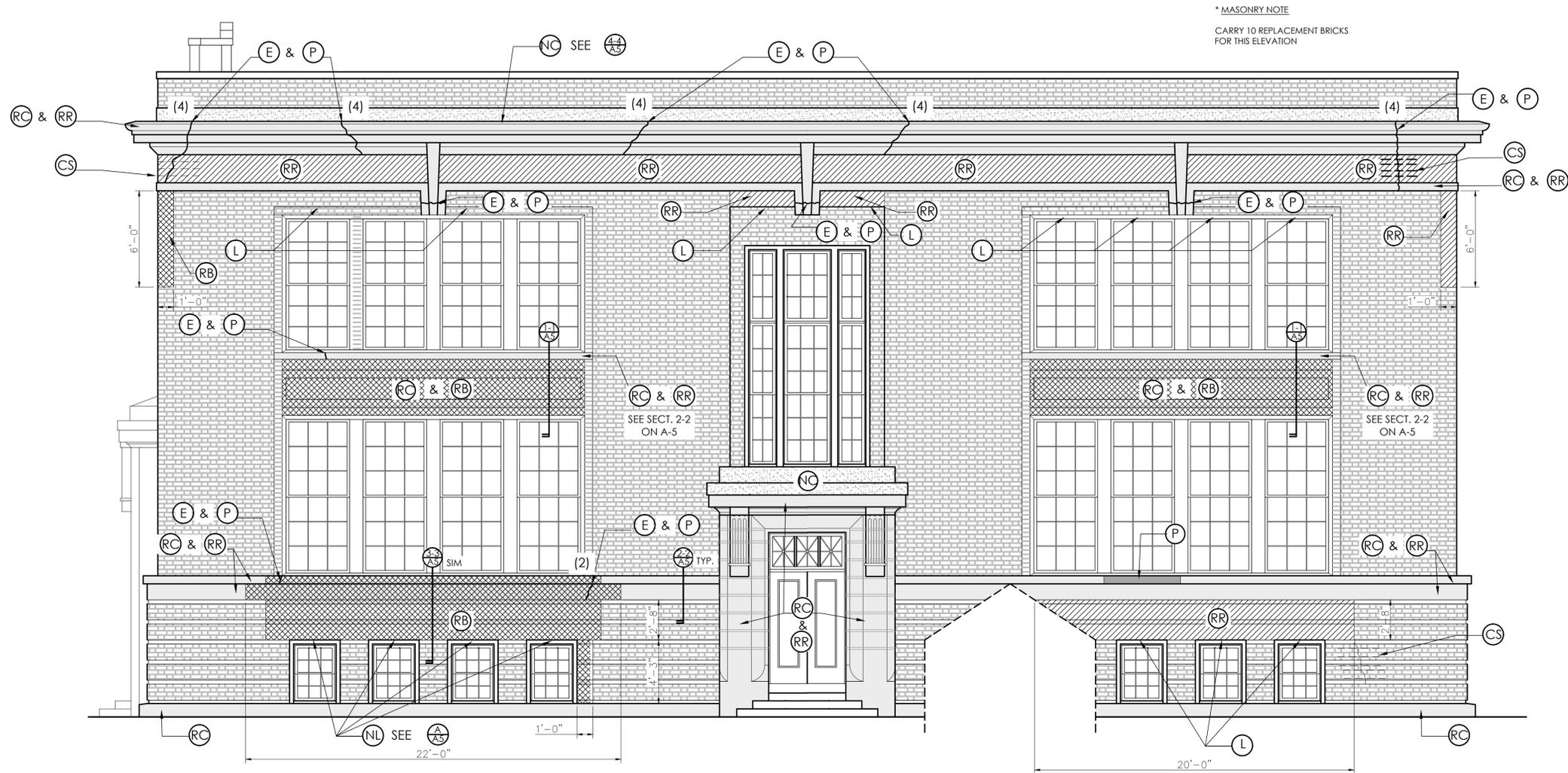


191 Stanford St.
South Portland
Maine 04106
1.207.400.0086

Drawn By: TC
Date: 5-3-11
Bid Set

REVISIONS	
#	Description/Date

A2
Sheet Number
Issued: 5-3-11
Project No.: 035-10



A EAST ELEVATION
A3 SCALE: 1/4" = 1'-0"

Building Envelope Consultants Masonry Scope Key

Key Note Legend

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- L- Lintels:** Scrape, sand, prime, and coat with rust inhibiting paint. Prime all steel with Rust-Oleum, red #249419, sandable primer. Finish coat lintels with Rust-Oleum, semi-gloss black #239078, enamel paint. Install specified caulking as per Detail A on A5.
- NC- New Copper:** Provide new copper cornice flashing as per Section 4-4 on A5.

SYMBOL LEGEND

-  NEW COPPER
-  RAKE OUT & REPOINT
-  REBUILD
-  REMOVE COATING & PATCH
-  REMOVE COATING & RAKE OUT & REPOINT
-  REMOVE COATING, EPOXY & PATCH
-  (2) INDICATES NUMBER OF HELIFIX STITCHING ANCHORS NEEDED TO REINFORCE EPOXY REPAIR. SEE DETAIL C ON A5

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Bar Harbor Town Offices
Bar Harbor, ME
East Elevation

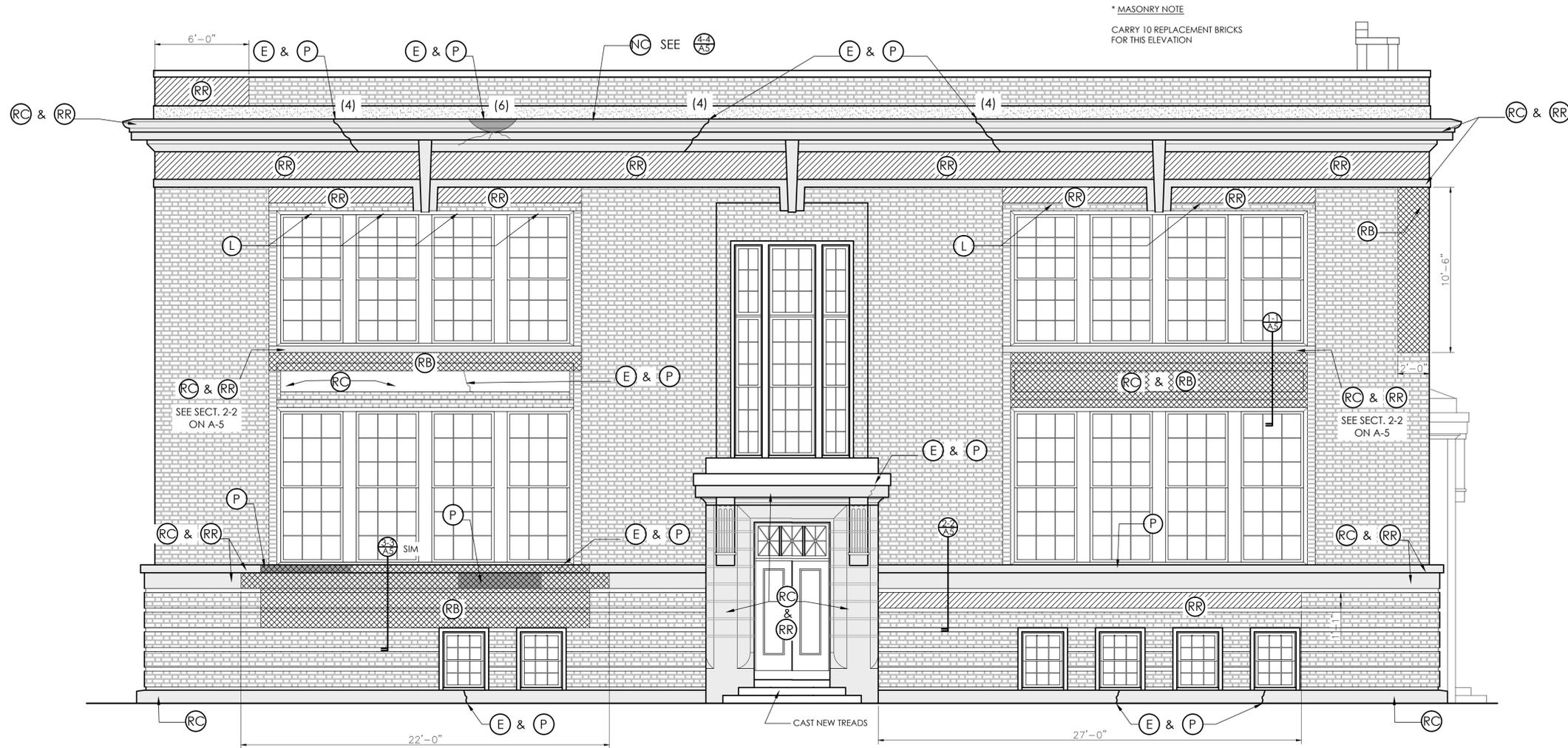


191 Stanford St.
South Portland
Maine 04106
1.207.400.0086

Drawn By: TC
Date: 5-3-11
Bid Set

REVISIONS	
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A3
Sheet Number
Issued: 5-3-11
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Bar Harbor Town Offices
Bar Harbor, ME
West Elevation



191 Stanford St.
South Portland
Maine 04106
1.207.400.0086

Drawn By: TC
Date: 5-3-11
Bid Set

REVISIONS	
#	Description/Date

A WEST ELEVATION
A4 SCALE: 1/4" = 1'-0"

Building Envelope Consultants Masonry Scope Key

Key Note Legend

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- NI - New Lintels:** Replace deteriorated lintel with new steel lintel of same size and section. Prime all steel with Rust-Oleum, red #249419, sandable primer. Finish coat lintels with Rust-Oleum, semi-gloss black #239078, enamel paint. Install specified caulking as per Detail A on A5.
- L - Lintels:** Scrape, sand, prime, and coat with rust inhibiting paint. Prime all steel with Rust-Oleum, red #249419, sandable primer. Finish coat lintels with Rust-Oleum, semi-gloss black #239078, enamel paint. Install specified caulking as per Detail A on A5.
- NC - New Copper:** Provide new copper cornice flashing as per Section 4-4 on A5.

SYMBOL LEGEND

- NEW COPPER
- RAKE OUT & REPOINT
- REBUILD
- REMOVE COATING & PATCH
- REMOVE COATING & RAKE OUT & REPOINT
- REMOVE COATING, EPOXY & PATCH
- INDICATES NUMBER OF HELIFIX STITCHING ANCHORS NEEDED TO REINFORCE EPOXY REPAIR. SEE DETAIL C ON A5

A4
Sheet Number
Issued: 5-3-11
Project No.: 035-10

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Bar Harbor Town Offices
Bar Harbor, ME
Details



191 Stanford St.
South Portland
Maine 04106
1.207.400.0086

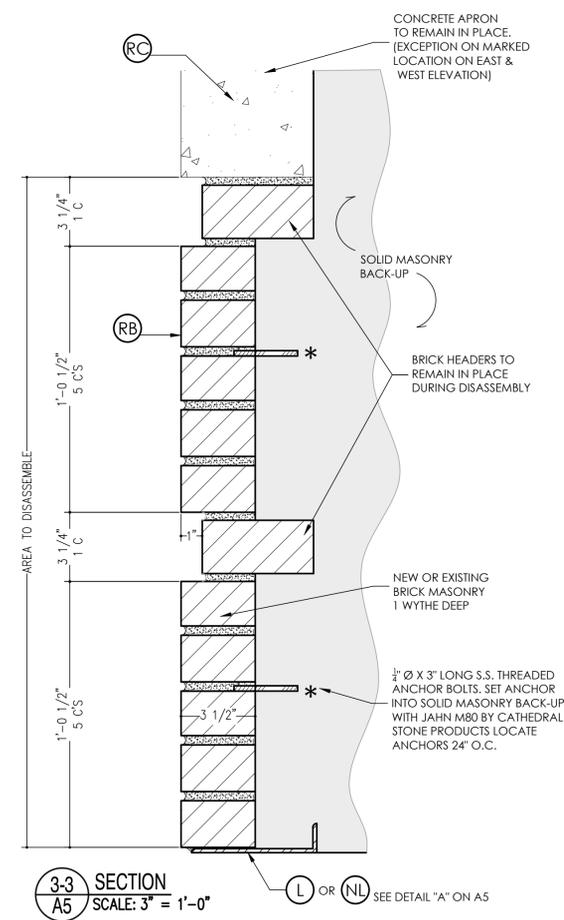
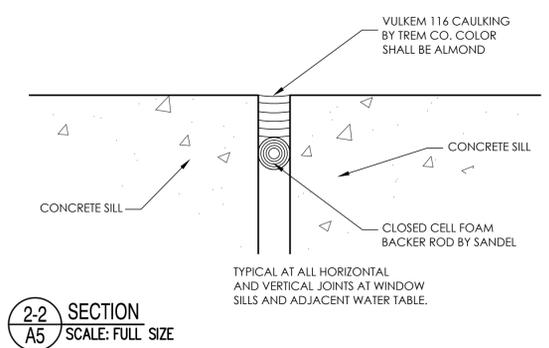
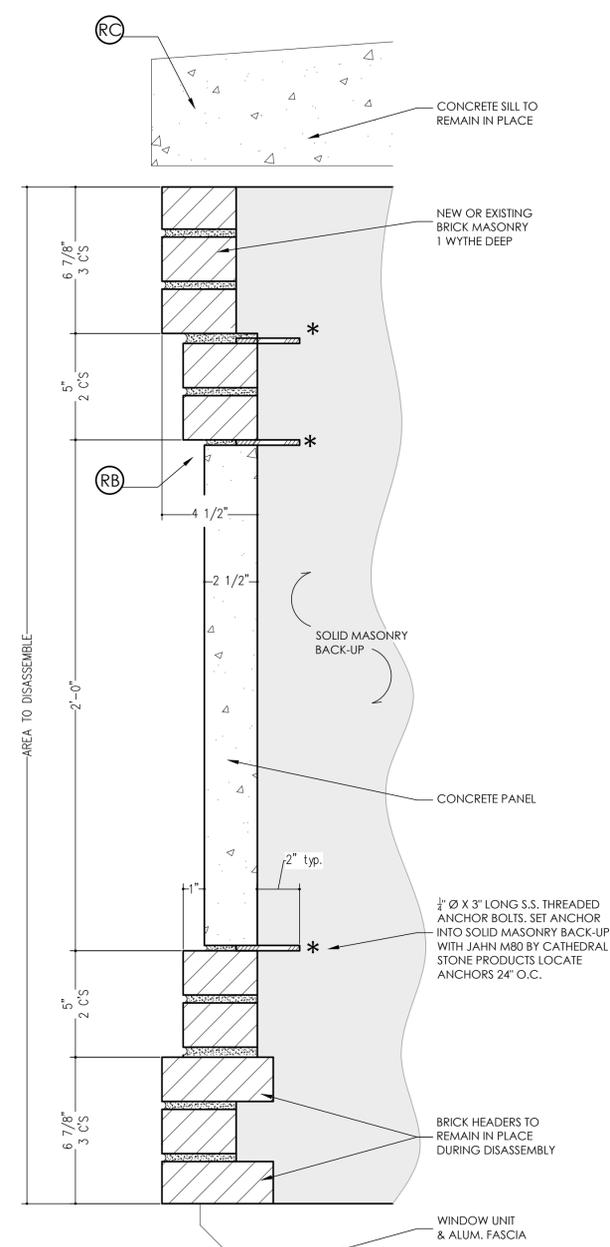
Drawn By: TC

Date: 5-3-11

Bid Set

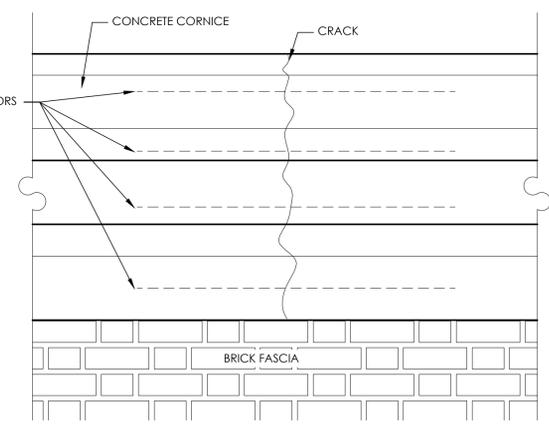
REVISIONS	
#	Description/Date

A5
Sheet Number
Issued: 5-3-11
Project No.: 035-10

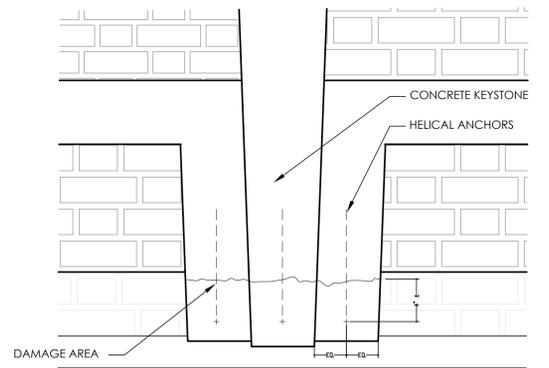
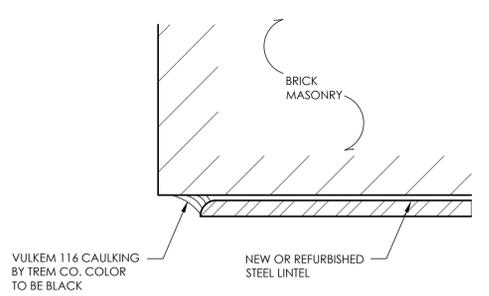


THIS DETAIL MOVED TO 4/A11

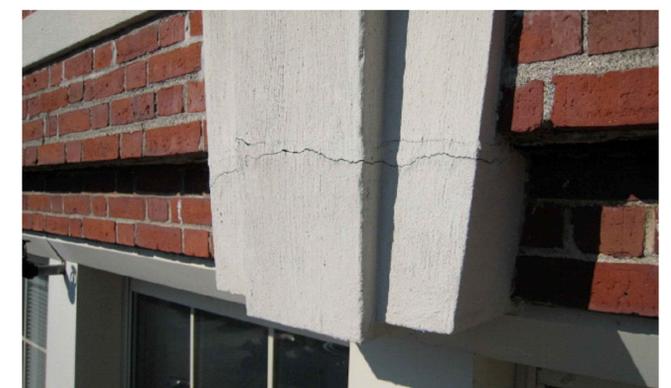
4-4 SECTION
SCALE: 3" = 1'-0"



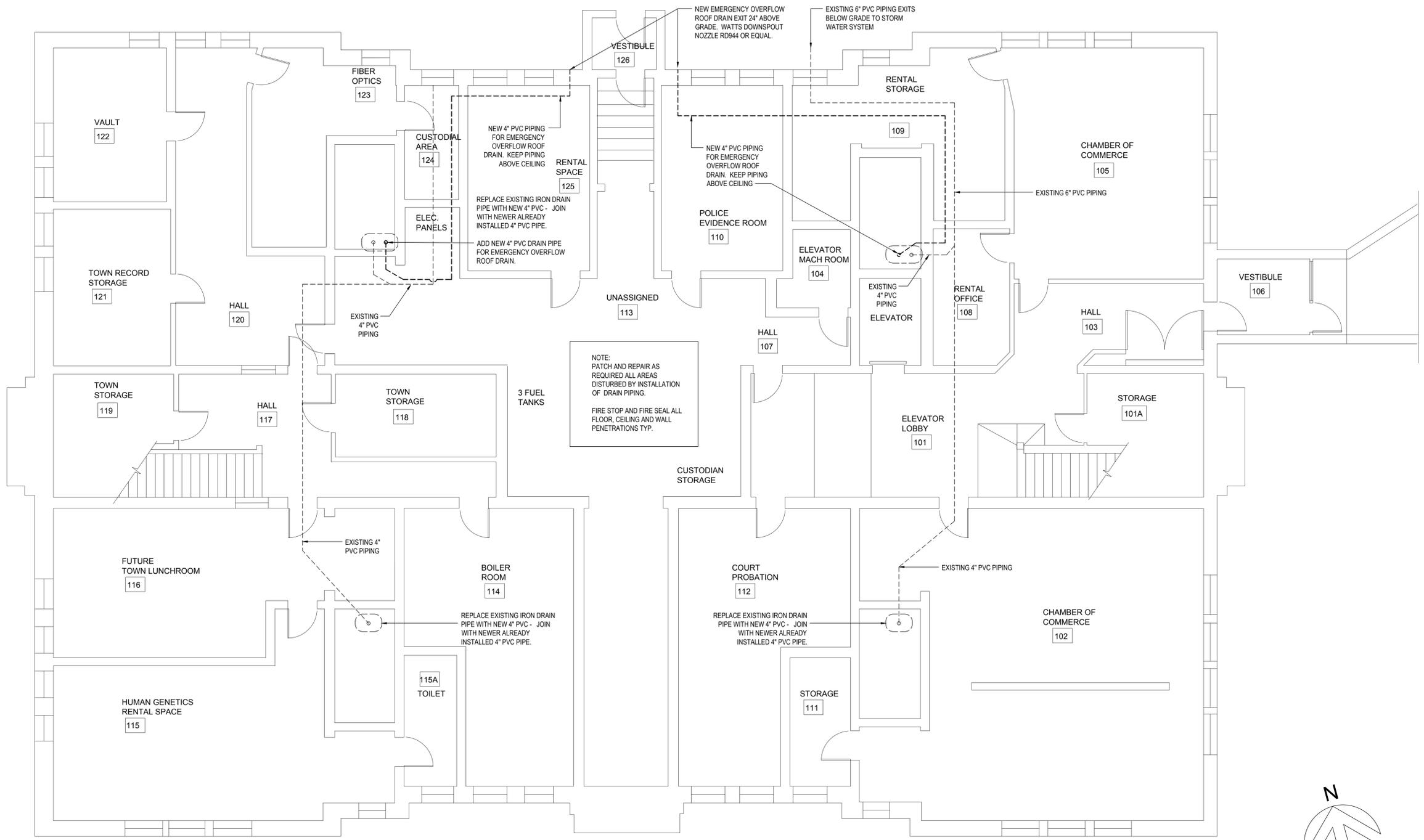
SUPPORT DAMAGED CORNICE DURING REPAIR. SAW-CUT A SETTING GROOVE IN FACE OF CONCRETE CORNICE IN APPROVED LOCATIONS. GROOVE TO BE 1" DEEP AND 3'-0" LONG. PREPARE VERTICAL CRACK FOR INJECTION EPOXY. INSTALL 4MM S.S. HELIFIX ANCHORS INTO BACK OF GROOVE ACROSS THE CRACK AS PER MANUFACTURE'S REQUIREMENTS. FILL REMAINING SECTION OF GROOVE WITH SPECIFIED PATCHING MORTAR. INJECT VERTICAL CRACK WITH "AKEPOX" 1004 EPOXY. SAW CUT FILLED CRACK TO A WIDTH OF 1/4" AND A DEPTH OF 1/2". FILL PREPARED SAW-CUT WITH SPECIFIED PATCHING MORTAR.



SUPPORT KEYSTONE SO NOT TO FALL DURING REPAIR. DRILL 3 PILOT HOLES TO ACCEPT 4MM S.S. HELIFIX ANCHORS. HOLES TO BE LOCATED APPROXIMATELY 4" BELOW DAMAGE AREA AND AT A 45° ANGLE UPWARD. PREPARE HORIZONTAL CRACK FOR INJECTION EPOXY. INSERT AND INSTALL 1-8" LONG ANCHOR INTO EACH HOLE. PLACE ANCHOR TO A DEPTH OF 1/2" BELOW EXTERIOR SURFACE OF KEYSTONE. FILL DRILL HOLES WITH SPECIFIED PATCHING MORTAR. INJECT CRACK WITH "AKEPOX" 1004 EPOXY. SAW CUT FILLED CRACK TO A WIDTH OF 1/4" AND A DEPTH OF 1/2". FILL PREPARED SAW-CUT WITH SPECIFIED PATCHING MORTAR.



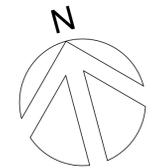
PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION



NOTE:
PATCH AND REPAIR AS
REQUIRED ALL AREAS
DISTURBED BY INSTALLATION
OF DRAIN PIPING.

FIRE STOP AND FIRE SEAL ALL
FLOOR, CEILING AND WALL
PENETRATIONS TYP.

BASEMENT PLAN



BAR HARBOR TOWN OFFICES

EXISTING BASEMENT PLAN

93 Cottage St. Bar Harbor, Maine 04609



191 STANFORD ST.
SOUTH PORTLAND
MAINE, 04106
TEL. 207-400-0086

DRAWN BY: DPD
CHECKED BY: SRW
ISSUE DATE: 03/30/2012

ISSUED FOR PRICING

REVISIONS	
1	-

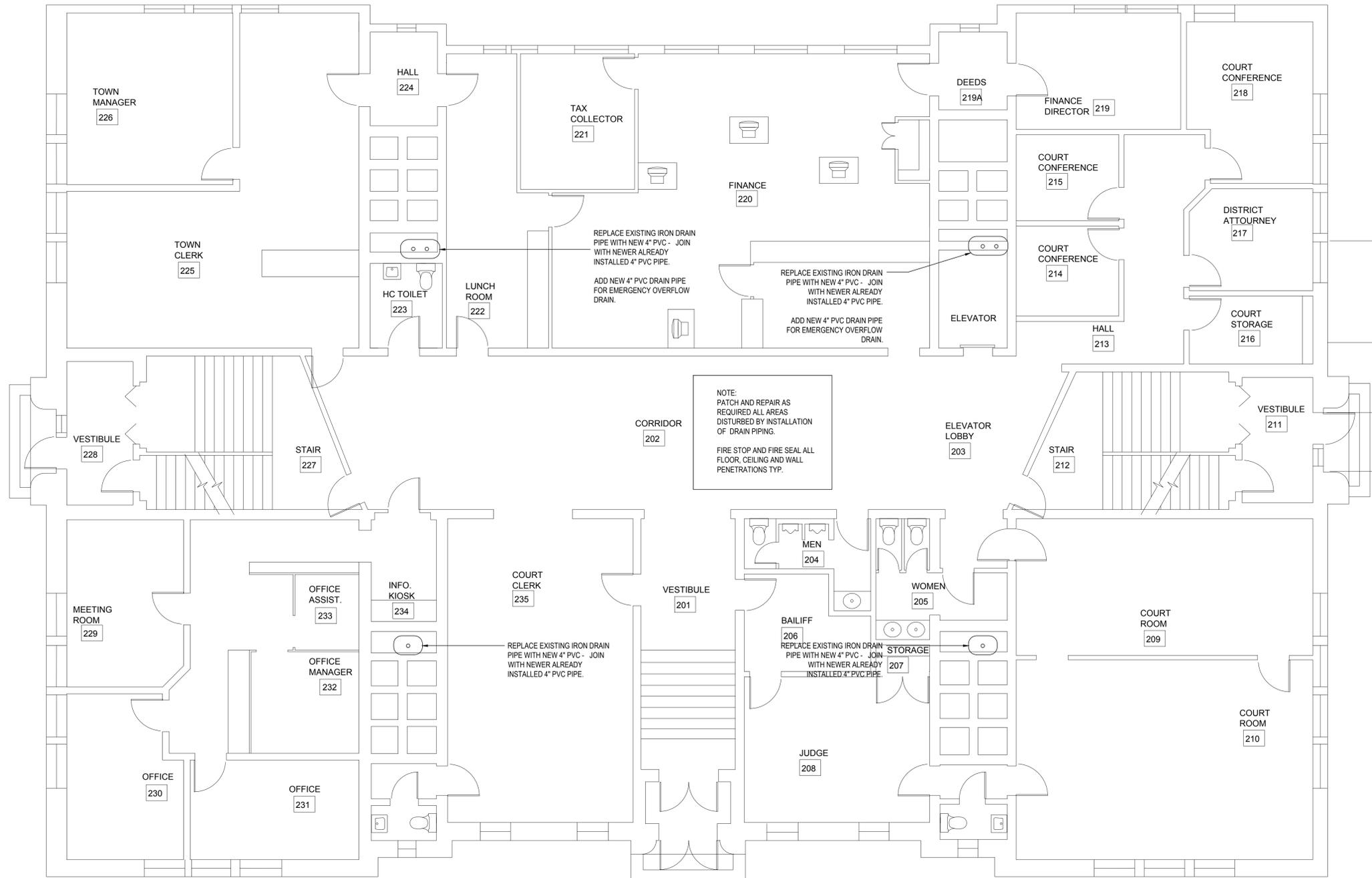
A6

DRAWING NUMBER

SCALE: AS NOTED

PROJECT NUMBER: 035-10

PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION



FIRST FLOOR PLAN



BAR HARBOR TOWN OFFICES

93 Cottage St. Bar Harbor, Maine 04609

EXISTING FIRST FLOOR PLAN



191 STANFORD ST.
SOUTH PORTLAND
MAINE, 04106
TEL. 207-400-0086

DRAWN BY: DPD
CHECKED BY: SRW
ISSUE DATE: 03/30/2012

ISSUED FOR PRICING

REVISIONS

NO.	DESCRIPTION
1	-

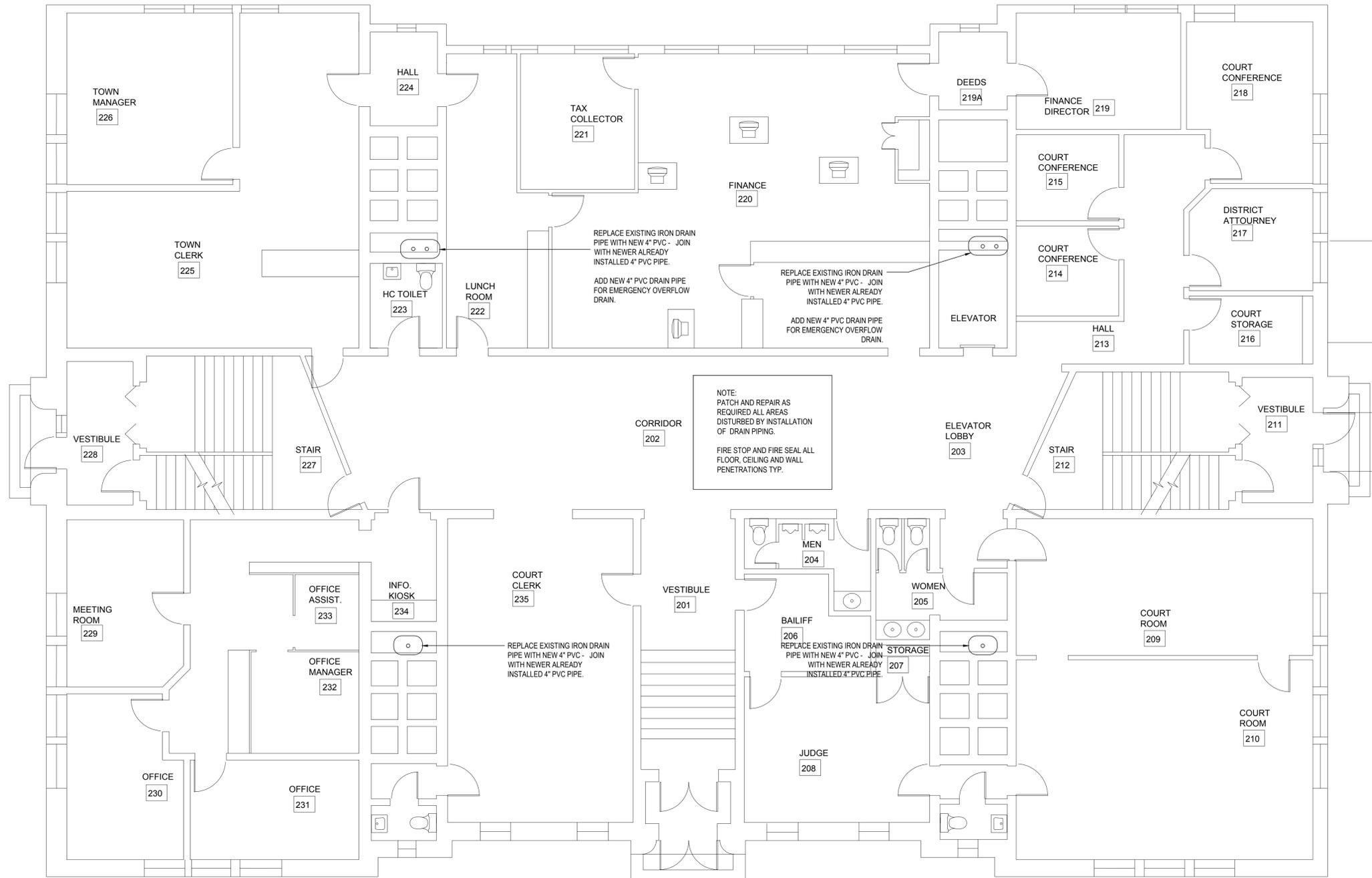
A7

DRAWING NUMBER

SCALE: AS NOTED

PROJECT NUMBER: 035-10

PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION



FIRST FLOOR PLAN

BAR HARBOR TOWN OFFICES

93 Cottage St. Bar Harbor, Maine 04609

EXISTING FIRST FLOOR PLAN



191 STANFORD ST.
SOUTH PORTLAND
MAINE, 04106
TEL. 207-400-0086

DRAWN BY: DPD
CHECKED BY: SRW
ISSUE DATE: 03/30/2012

ISSUED FOR PRICING

REVISIONS	
1	-

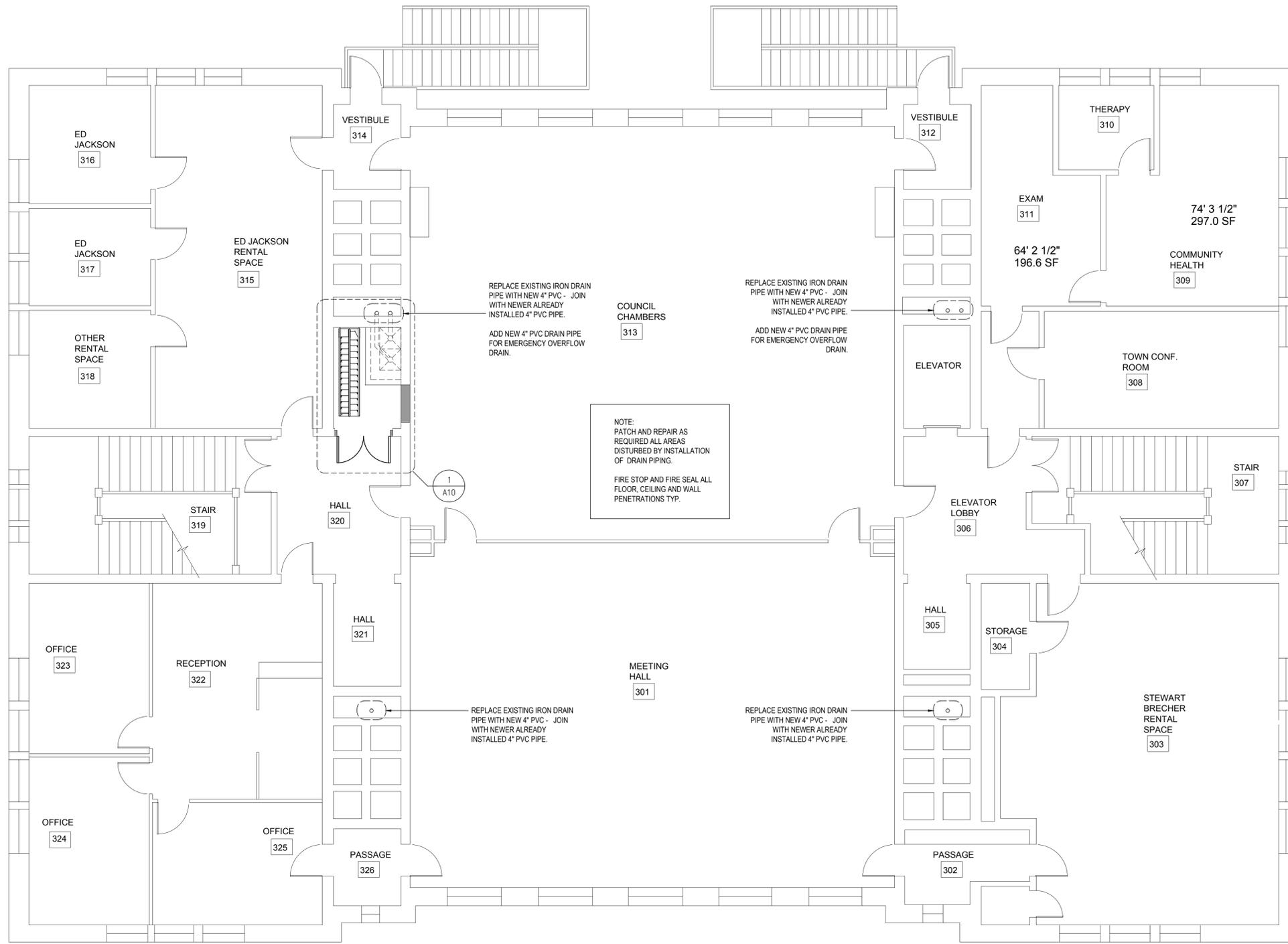
A7

DRAWING NUMBER

SCALE: AS NOTED

PROJECT NUMBER: 035-10

PRELIMINARY
DRAWINGS
NOT FOR
CONSTRUCTION



SECOND FLOOR PLAN

BAR HARBOR TOWN OFFICES

EXISTING SECOND FLOOR PLAN

93 Cottage St. Bar Harbor, Maine 04609



191 STANFORD ST.
SOUTH PORTLAND
MAINE, 04106
TEL. 207-400-0086

DRAWN BY: DPD
CHECKED BY: SRW
ISSUE DATE: 03/30/2012

ISSUED FOR PRICING

REVISIONS	
1	-

A8

DRAWING NUMBER

SCALE: AS NOTED

PROJECT NUMBER: 035-10

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

BAR HARBOR TOWN OFFICES
93 Cottage St. Bar Harbor, Maine 04609

DETAILS

BUILDING ENVELOPE CONSULTANTS

191 STANFORD ST. SOUTH PORTLAND MAINE, 04106 TEL. 207-400-0086

DRAWN BY: DPD
CHECKED BY: SRW
ISSUE DATE: 03/30/2012

ISSUED FOR PRICING

REVISIONS

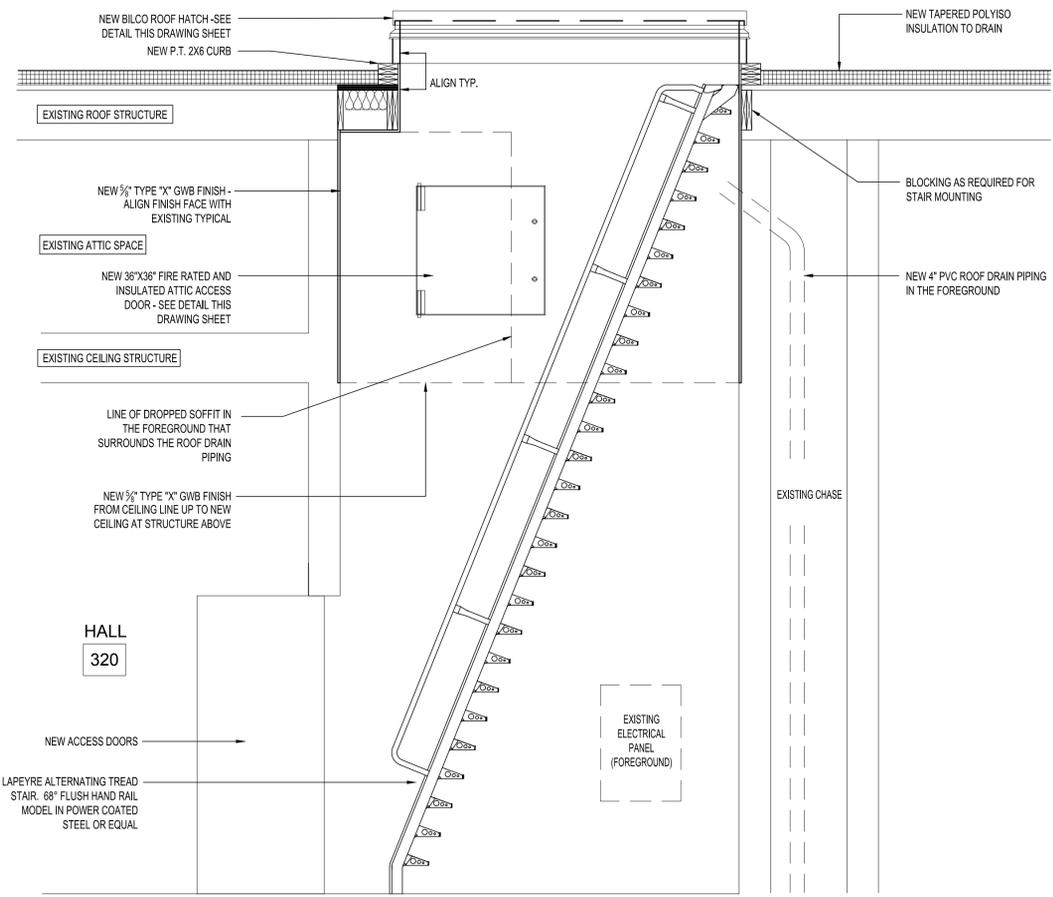
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A10

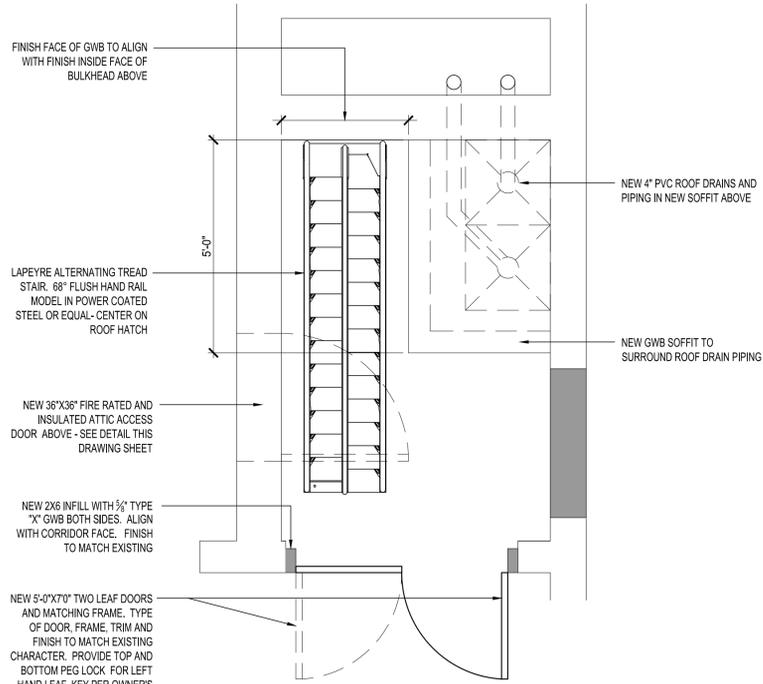
DRAWING NUMBER

SCALE: AS NOTED

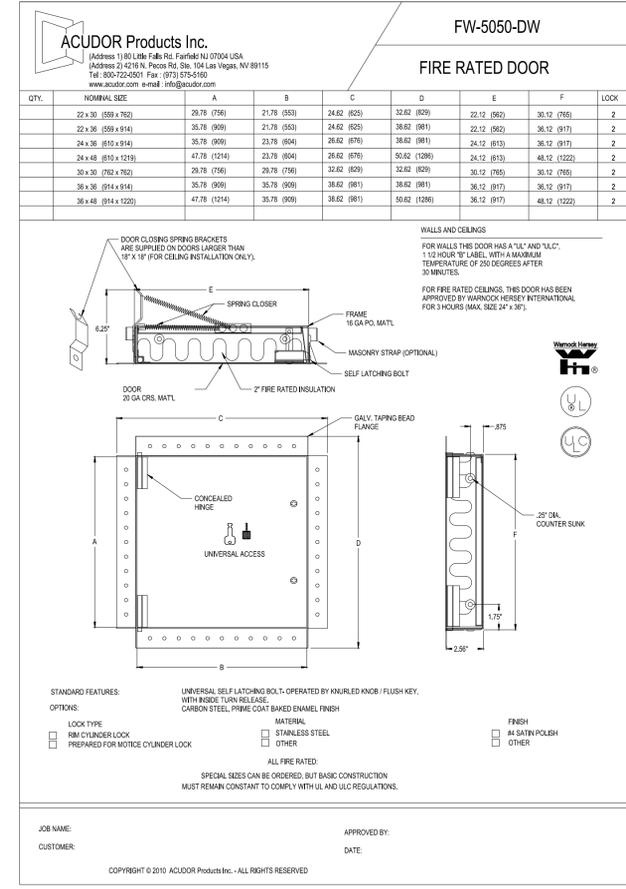
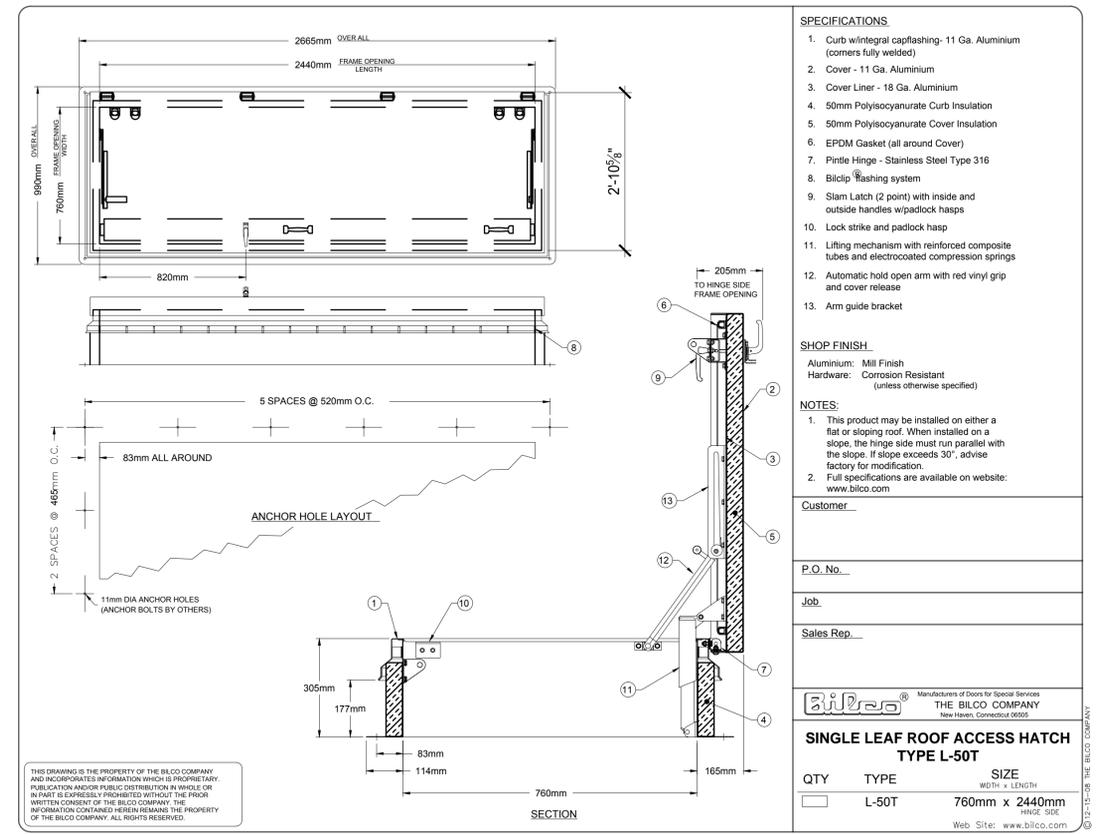
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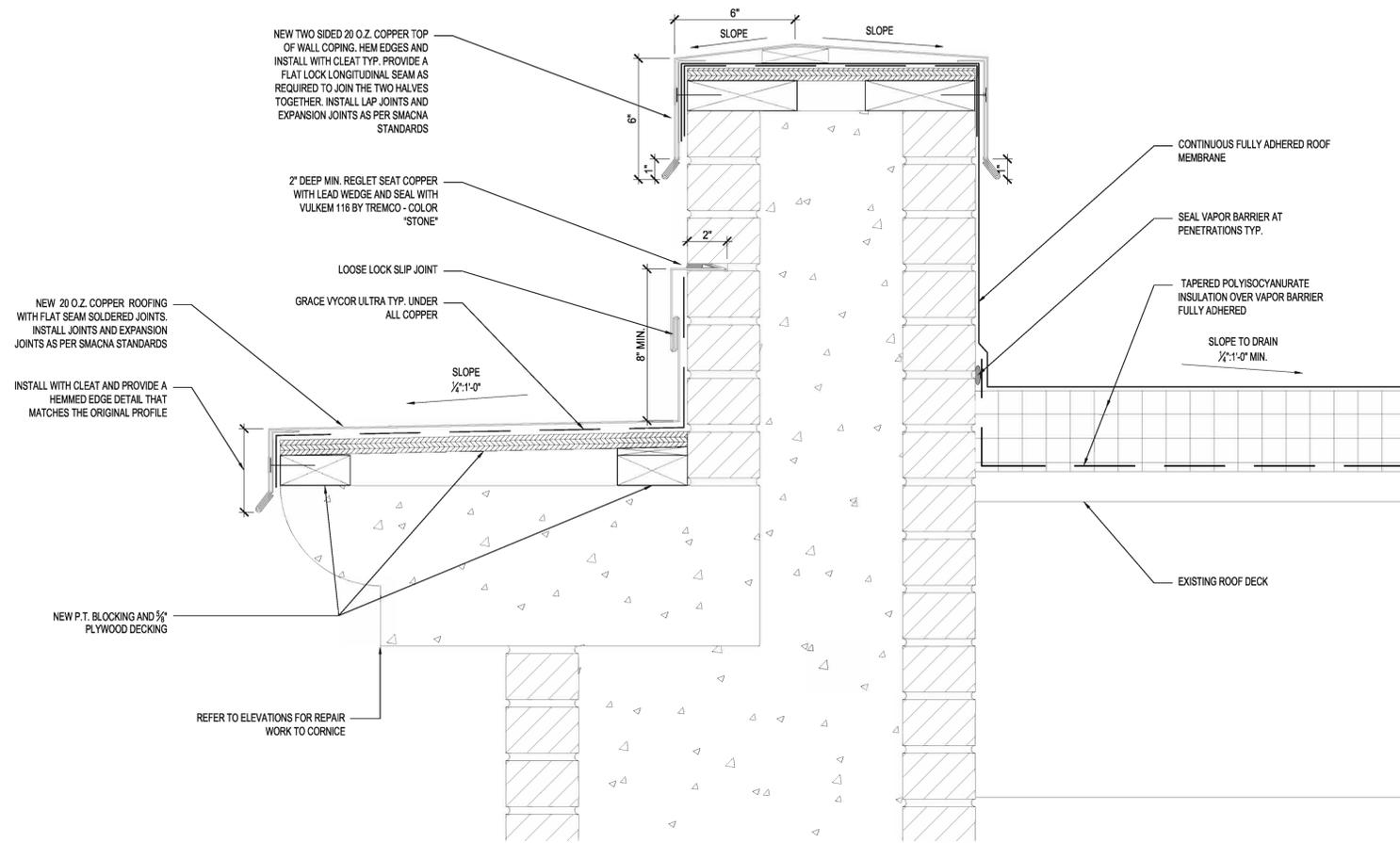
2 INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



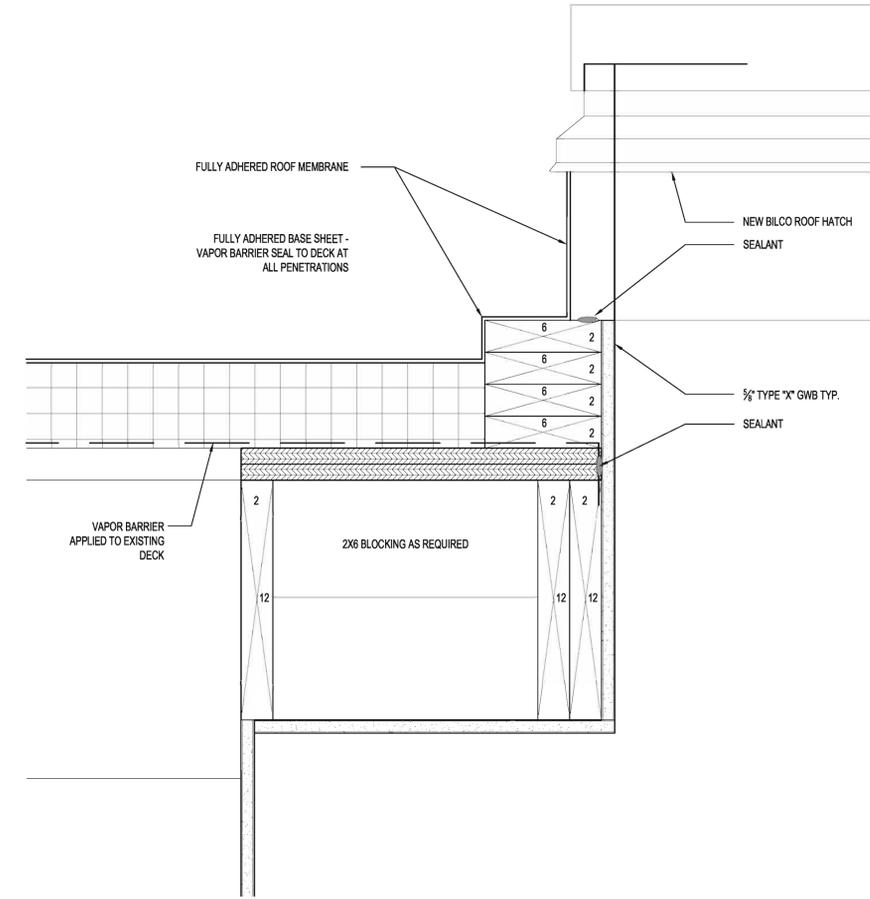
1 ENLARGED PLAN DETAIL
SCALE: 1/2" = 1'-0"



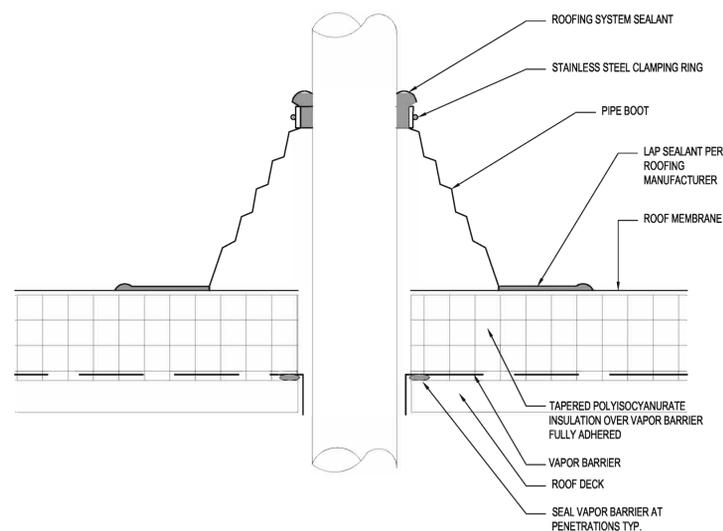
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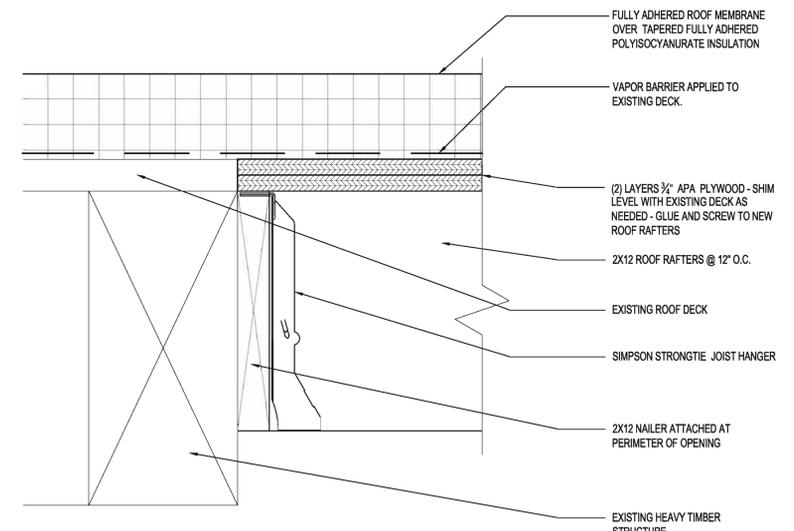
4 TYPICAL PARAPET WALL SECTION
A11 SCALE: 3" = 1'-0"



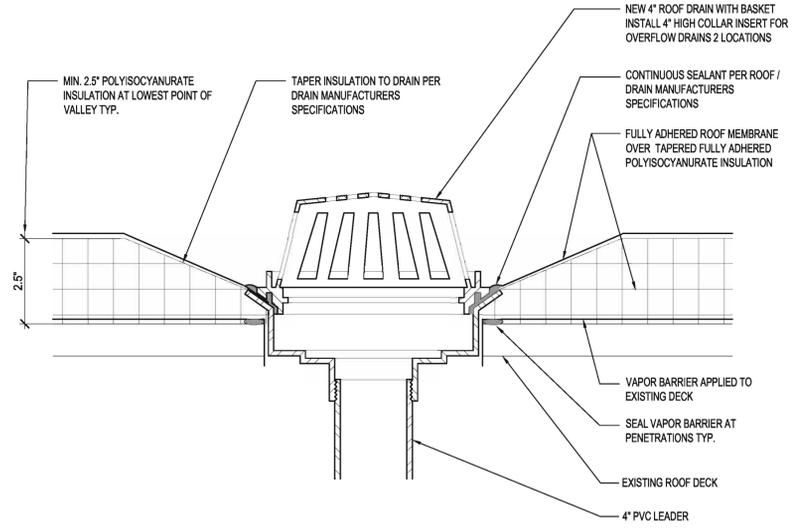
2 NEW ROOF HATCH DETAIL
A11 SCALE: 3" = 1'-0"



5 TYP. ROOF DECK PIPE PENETRATION
A11 SCALE: 3" = 1'-0"



3 TYP. INFILL AT ROOF DECK
A11 SCALE: 3" = 1'-0"



1 TYPICAL ROOF DRAIN INSTALLATION
A11 SCALE: 3" = 1'-0"