

PLANNING BOARD
PACKET OF MATERIALS
MEETING APRIL 20, 2016

- Cover page with date
- Agenda
- Minutes for approval
- Applications
- Supporting Documents

See Workshop materials
for items IIc. & II d.

Agenda
Bar Harbor Planning Board
Wednesday, April 20, 2016
Council Chambers- Municipal Building
93 Cottage Street
6:00 P.M.

I. CALL TO ORDER

II. ADOPTION OF THE AGENDA

III. EXCUSED ABSENCES

IV. APPROVAL OF MINUTES (April 6, 2016)

V. REGULAR BUSINESS

- a. **Completeness Review – SP-2016-03– The Jackson Laboratory**
Project Location: 600 Main Street, Bar Harbor Tax Map 253, Lot 003-000
Applicant: The Jackson Laboratory
Application: The applicant is proposing to construct a three-story, 31, 000 sq. ft. addition to the JAX Core Research Complex for the Center for Biometric Analysis in a Scientific Research for Eleemosynary Purposes district.
- b. **Land Use Ordinance Discussion of Definition for Commercial Waterborne Passenger Facility (Cruise Ship Operations) and inclusion of the use in the Bar Harbor Gateway and Shoreland General Development III districts.**
- c. **Land Use Ordinance Discussion of Parking.**
- d. **Land Use Ordinance Discussion of Housing.**

VI. OTHER BUSINESS

VII. BOARD MEMBER COMMENTS AND SUGGESTIONS FOR THE NEXT AGENDA

VIII. ADJOURNMENT

Minutes
Bar Harbor Planning Board
Wednesday, April 6, 2016
Council Chambers – Municipal Building
93 Cottage Street
6:00 P.M.

I. CALL TO ORDER

The Chair called the meeting to order at 6:00 PM. Planning Board members present: Ivan Rasmussen, Chair; Tom St. Germain, Vice Chair; Basil Eleftheriou, Jr., Secretary and John Fitzpatrick, Member.

Also present: Robert Osborne, Planning Director and Angela Chamberlain, Code Enforcement Officer.

II. ADOPTION OF THE AGENDA

Mr. Eleftheriou, Jr. moved to adopt the agenda as presented. Mr. St. Germain seconded the motion and the Board voted five in favor and none against the motion.

III. EXCUSED ABSENCES

Joe Cough

IV. APPROVAL OF THE MINUTES

a. March 30, 2016 Regular Meeting

Mr. Fitzpatrick made a motion to approve the minutes with the change that there were no absences. Mr. Eleftheriou, Jr. seconded the motion and the Board voted four in favor and none against the motion.

V. REGULAR BUSINESS

- a. Public Hearing- Site Plan Application – SP-2016-02– Arthur Davis – JAD Holdings, LLC**
Project Location: 111 Eden Street, Bar Harbor Tax Map 101, Lot 004-000
Applicant: Arthur Davis – JAD Holdings, LLC
Application: The applicant is proposing to construct a 105 foot long residential pier in a Shoreland General Development III district.

Chair Rasmussen opened the item and asked for representatives of the project to speak. Greg Johnson, Civil Engineer presented the application for the Site Plan review. Mr. Johnson described the project as a 105 foot residential pier that is permanent in nature. There is no lighting or utilities involved in the project.

Chair Rasmussen opened the public hearing and asked for comment. As no one wished to speak Chair Rasmussen closed the public hearing and asked if the Board was ready to act on the application.

Mr. Fitzpatrick moved that the application meets the requirements for site plan approval with the noted condition that applicant obtain a flood hazard permit prior to issuance of a building permit. Mr Fitzpatrick also noted that the findings of the Planning Board Decision are correct with correction that

the shoreland district is Shoreland General Development III district. Mr. St. Germain seconded the motion which was approved four in favor and none against.

b. Land Use Ordinance Discussion of Parking.

The Board discussed parking as it relates to establishing the amount of required parking for institutional facilities that have multiple buildings and a variety of transportation modes including cars, vans, carpools transit or school busses, bicycles and pedestrian facilities. It was agreed that a single metric does not necessarily fit every case well. Institutional facilities also have public assembly spaces that are not regularly used and might be an unreasonable driver for the overall provision of parking.

It was suggested that the answer regarding how much parking is needed must in some way come from the institution itself: A series of questions could be asked on a form. A prescribed sampling of parking activity could be submitted. Perhaps the institution has a masterplan that identifies parking needs. No one solution was identified but the topic brought good conversation.

c. Land Use Ordinance Discussion of Housing.

This item was deferred in order to discuss item d.

d. Land Use Ordinance Discussion of Cruise Ship Operations definition.

A letter was received from the Main Port Authority requesting that the Town consider making changes to the Land Use Ordinance that would add a definition for a use called "Commercial Waterborne Passenger Facility". The proposal would also add the defined use to the Bar Harbor Gateway district and the Shoreland General Development III district.

The Board discussed the proposed Commercial Waterborne Passenger Facility use.

COMMERCIAL WATERBORNE PASSENGER FACILITY --A facility providing a ferry or cruise ship terminal for waterborne transportation; ferry and/or cruise terminal related operations, including, but not limited to land transportation; government related operations, including, but not limited to the United States Department of Homeland Security, including Customs and Border Protection; marina and marine uses; public access to pedestrian trails; public uses such as open air events, and other outdoor activities; parking of cars and buses; and, tourist related uses, including and not limited to, a welcoming center, restaurant(s), and related office spaces.

They noted that there are uses already in the districts that bear similarity to portions of this definition. (Emphasis added).

The Land Use Ordinance's Bar Harbor Gateway district allows the following uses:

C. Allowed uses.

*(1) Principal uses allowed by building permit or a change of use permit from the Code Enforcement Officer: artist studio; child care family; gallery; **government facility**; home occupation (NOTE: Home occupations in properties with lot frontage or access on Route 3 shall be required to obtain minor site plan*

approval.); **municipal facility**; **municipal school**; **public or private park with minimal structural development**; **vacation rentals**; **single-family dwelling and two-family dwelling**.
[Amended 6-14-2011]

(2) Accessory uses that are usual and normal to a principal use are allowed if they are typically permitted by the Code Enforcement Officer or site plan review for the district in which the use is proposed. Accessory uses are allowed by review of the same permitting authority that approved the principal structure.

D. Uses allowed by site plan.

(1) The following uses shall be permitted by site plan review in any part of this district: **bank**; **bed-and-breakfast I**; **bed-and-breakfast II**; **bed-and-breakfast III**; **bed-and-breakfast IV**; **bed-and-breakfast V**; **child-care center**; **commercial boat yard**; **commercial fish pier**; **ferry terminal**; **farmers' market**; **hotel**; **marina**; **multifamily dwelling I**; **multifamily dwelling II**; **motel**; **nursing or convalescent homes or congregate housing**; **private compulsory school**; **professional office building**; **restaurant**; **retail**; **road construction**; **services**; **take-out restaurant**; **wind turbines**, and **wireless communication facilities**.

It was noted that ferry terminal, government facility, farmer's market (open air event) marina and marine uses, office space and restaurant use are all currently contemplated in the district. What is new specifically is the direct combination of uses and the cruise terminal related operations and the parking and tourist related uses.

Mr. St. Germain raised issue with the presence of restaurant(s) at the terminal because it would discourage people from going into the village. There was also some discussion of the issues of moving people from the terminal to the village.

Mr. Osborne noted that the Board should not look at this process like a site plan review but rather ask if the proposal is consistent with the Comprehensive Plan and the Land Use Ordinance itself.

The Board asked if a representative from the Maine Port Authority could be available to answer questions at a future meeting.

No action was taken on the item.

VI. OTHER BUSINESS

None.

VII. BOARD MEMBER COMMENTS AND SUGGESTIONS FOR THE NEXT AGENDA

There was discussion about having another Planning Board workshop on parking and housing.

VIII. ADJOURNMENT

Mr. Eleftheriou, Jr. moved to adjourn the meeting at 8:08 pm. Mr. St. Germain seconded the motion. The Board voted unanimously in favor of the motion to adjourn.

Signed as approved:

**Basil Eleftheriou, Jr., Secretary
Planning Board, Town of Bar Harbor**

Date



SITE PLAN REVIEW APPLICATION

CENTER FOR
BIOMETRIC ANALYSIS

woodardcurran.com
COMMITMENT & INTEGRITY DRIVE RESULTS

One Merchants Plaza, Suite 501, Bangor, Maine 04401
Tel. (207) 945-5105 Fax (207) 945-5492

229202.00
The Jackson Laboratory
April 6, 2016



April 6, 2016

Bob Osborne
Town of Bar Harbor
93 Cottage Street
Bar Harbor, ME 04609

Re: The Jackson Laboratory – Center for Biometric Analysis
Site Plan Review Application #SD-2016-3

Dear Angela:

Please accept this application for the latest project at The Jackson Laboratory (JAX), the Center for Biometric Analysis (CBA). We respectfully request that you review the enclosed application and that it be considered for Completeness Review at the Planning Board's meeting on April 20, 2016. Enclosed are six hard copies and four digital copies of the application report. A check in the amount of \$2,282 in payment for the Site Plan Review fee for large commercial development will be submitted under separate cover.

The Center for Biometric Analysis is a three-story, 31,000-square-foot addition to the JAX Core Research Complex, which houses the JAX science research functions. The CBA will have high-powered measurement and imaging devices to enable scientists to detect and measure extremely subtle signs of disease at the cellular level. This information, coupled with gene sequencing data and analysis, will further JAX's mission to pinpoint the genetic roots of disease and speed the search for better treatments.

We believe the data contained in this application provides all the information necessary for the Planning Board to find that the proposed project meets the criteria for approval under the Town of Bar Harbor's Land Use Ordinance. The proposed project meets the General Review Standards, with reference to the section numbers of the Ordinance, for site plan approval as follows:

125-67 A. PERMITTED USES

The proposed project is a permitted use allowed in the Scientific Research for Eleemosynary Purposes District; zone "Z" on the Land Use Map.

125-67 B. LOT STANDARDS

The proposed project meets all lot standards for the zone, including the required boundary setbacks. The setbacks are shown for reference in Figures 9-3 in Exhibit 9.

125-67 C. HEIGHT

The proposed project is a three-story, steel-framed structure addition to the Core Research Complex. The exterior elevations of the proposed addition are illustrated on Figure 20-2 in Exhibit 20. The height of the roof steel in the CBA will be less than 40' above mean original grade for the Core Research Complex, though the face of the CBA addition is almost 50' from existing ground to the top. There will be a mechanical penthouse on the roof as is typical for JAX research facilities, which have extensive air handling requirements. The project will meet the Bar Harbor ordinance requirements for height.



125-67 D. PARKING REQUIREMENTS

The proposed CBA will result in the loss of one space and the addition of 14 new employees at JAX. Based on the current number of employees, the proposed new employees and the ordinance requirements, JAX needs to provide 805 spaces for their employees. There are 826 employee spaces available on campus.

Evidence that the Lab meets the Town parking ordinance requirement of a minimum of 1 parking space per 1.5 employees is included in Exhibit 12.

125-67 E. PARKING AREAS AND DRIVEWAYS

No new driveways are required or will be constructed for the CBA, but some nine parking spaces will be added, with a net loss of one space in the vicinity of the project.

125-67 F. LOADING REQUIREMENTS

There are numerous loading areas currently in use around the Lab. No new loading areas are required for the proposed project.

125-67 G. STREETS, SIDEWALKS, AND ACCESS

No new streets or walkways are proposed as part of the project.

125-67 H. BUFFERING AND SCREENING

Corridor setbacks and other property lines are shown on Figures 9-3 in Exhibit 9. The proposed project is located outside the 200-foot Route 3 corridor. Existing trees along Route 3 and Schooner Head Road, and the core research complex building provides screening. No additional screening is required or proposed.

125-67 I. WATER SUPPLY

The proposed CBA will require approximately 7,065 gallons per day (gpd) based on typical square foot usage rates. This increased supply is not believed to be significant for the Town, but this will be reviewed by staff as part of the Site Plan approval process.

125-67 J. MUNICIPAL WATER SUPPLY

See above.

125-67 K. GROUNDWATER

There will be no groundwater use and no impact to the quality of groundwater in the vicinity of the proposed project.

125-67 L. STORMWATER MANAGEMENT

Stormwater management for the CBA project will be provided using a Roof Dripline Filtration system. The site of the proposed project is currently largely impervious, and constructing it in this area will not cause a significant increase in stormwater runoff; therefore, no downstream impact evaluation is required.

Stormwater management is further detailed in Exhibit 6.

125-67 M. MUNICIPAL SEWER FACILITIES

The proposed CBA will discharge wastewater from its operations. Based on the amount of water described in section 126-67 I, approximately 7,065 gpd will be discharged. The wastewater will not contain any hazardous waste. CBA will be interconnected to the adjacent facilities, and the capacity of the municipal sewers to handle the proposed flow will be confirmed by staff.



125-67 N. SEWAGE DISPOSAL

The project will have no negative impact on the campus sewer system. CBA will be interconnected to the adjacent facilities, and the capacity of the treatment plant to handle the proposed flow will be confirmed by staff.

125-67 O. SOILS

The proposed project will not impact any area where the soil is rated severe or very severe by the County Soil Survey of the USDA Soil Conservation Service.

125-67 P. LANDSCAPING

As previously discussed, no specific buffering or screening is required to minimize impacts of the proposed project on adjacent properties. Mature trees along Route 3 and Schooner Head Road provide a buffer between the project and the roadways. The site is not in the Design Review Overlay District, so no approval of proposed landscaping is required.

125-67 Q. EROSION

Adequate erosion and sedimentation control will be provided. The measures to be utilized are discussed in Exhibit 17.

125-67 R. FLOOD PERMIT

The proposed project is not in the flood zone, and no flood permitting is required.

125-67 S. AIR QUALITY

The proposed project will not impact air quality. The Lab has an air emissions license issued by the Maine Department of Environmental Protection (DEP), and the proposed project will not require the license to be modified. There will be no significant emissions of dust, smoke, ash, odors, gasses, chemicals, or other particulate matter from the proposed project.

125-67 T. REFUSE DISPOSAL

The Lab has an open waste hauling contract with Bar Harbor and the CBA is not a significant increase to the overall refuse disposal rate of the Lab.

125-67 U. DANGEROUS OR HAZARDOUS MATERIALS AND WASTES

The Lab has Hazardous Waste and Hazardous Materials licenses. The proposed CBA project will not generate additional hazardous waste or require updates to the existing licenses.

125-67 V. VIBRATION

The proposed project will not generate excessive vibration.

125-67 W. WILDLIFE HABITAT

No significant wildlife habitat will be affected by the proposed project. Correspondence from the Maine Department of Inland Fisheries and Wildlife confirming there are no relevant resources anywhere on the Lab's property has been obtained in the past and still applies to the facility site.

125-67 X. AESTHETIC AREAS AND PHYSICAL AND VISUAL ACCESS

No aesthetic, cultural, or natural areas will be affected by the proposed project. Correspondence confirming there are no relevant resources anywhere on the Lab's property has been obtained in the past and still applies to the facility site. There will not be any change to physical or visual access to shorelines.



125-67 Y. HEAT

The proposed project will not generate excessive heat.

125-67 Z. LIGHT AND GLARE

The proposed project will not create excessive light or glare. Several typical wall-mounted fixtures will be installed adjacent to doors. These will be full cut-off fixtures consistent with other exterior wall-mounted fixtures on the Lab campus. The manufacturers' cut sheets for the proposed fixtures are included in Exhibit 21.

125-67 AA. NOISE

The proposed project will not generate excessive noise.

125-67 BB. SIGNS AND ADVERTISING

No new signs will be installed as part of the proposed project.

125-67 CC. OUTDOOR STORAGE AND DISPLAYS

No outdoor storage or displays are part of the proposed project.

125-67 DD. UTILITIES

Existing buried utilities will be connected to supply the new building. Utilities are shown on the Site Plan Details included in Exhibit 9.

125-67 EE. FIRE PROTECTION

The site is served by Bar Harbor's public water supply system. The proposed project is located very close to an existing fire hydrant. Access to the building addition for fire trucks will be from the main access road.

125-67 FF. COMPREHENSIVE PLAN

A memo from the Bar Harbor Planning Department stating that the proposed project is in conformance with the Town's Land Use ordinances will be provided by staff.

125-67 GG. FINANCIAL AND TECHNICAL CAPACITY

The Jackson Laboratory has the Financial and Technical Capacity to complete, operate, and maintain the proposed project. Information verifying the Lab's capacity is included in Exhibit 24.

125-67 HH. FARMLAND

There is no registered farmland property within 150 feet of the proposed project.

125-67 II. OTHER MUNICIPAL SERVICES

The proposed project will not have an impact on Bar Harbor municipal services. This is discussed further in Exhibit 6.

125-67 JJ. VIOLATIONS

The applicant is not in violation of the Bar Harbor Land Use Ordinance nor is it in arrears in payment of any local taxes or assessments. Further information is included in Exhibit 2.

125-67 KK. LEGAL DOCUMENTS

The Lab holds deeds to the property upon which the proposed project is to be constructed. A discussion of this is included in Exhibit 3. No new easements or other real estate is needed for the proposed project.



125-67 LL. HISTORIC AND ARCHAEOLOGICAL RESOURCES

The proposed project sites have not been identified by the Maine Historic Preservation Commission or the Bar Harbor Comprehensive Plan as containing historic or archaeological resources. Correspondence confirming there are no relevant resources anywhere on the Lab's property has been obtained in the past and still applies to this project.

125-67 MM. UTILIZATION OF THE SITE

The proposed project does not impact environmentally sensitive areas.

125-67 NN. NATURAL FEATURES

As mentioned above, the proposed project does not impact environmentally-sensitive areas. Correspondence from the Maine Natural Areas Program confirming there are no relevant resources anywhere on the Lab's property has been obtained in the past and still applies to this project.

WAIVER REQUESTS

The following checklist documents some of the waivers we are requesting based on the Planning Department's assessment of the project. We are requesting several additional waivers while not requesting some indicated on the checklist. For clarity, the table below documents all the waiver requests.

Checklist Item Number	Reason for Waiver Request
3. Title and Interest	A. Current deeds are on file; copies will be made available upon request B. There are no new or additional purchase or sale agreements C. There are no new or additional easements, deed restrictions, etc.
4. Legal Documents	A-E. No legal documents are required for the proposed project
5. Permits	A. No ACOE permits are necessary for the proposed project C. No other permits are necessary for the proposed project
6. Statements of Capacity and Design	D. The proposed project will not impact Schools & Busing
7. Design Plans	A-F. No design review is necessary. Connections to existing water, sewer, electric and roads are internal.
7.1 Design Approval by State & Local Agencies	A-E. No design approval is necessary.



Checklist Item Number	Reason for Waiver Request
9. Site Plan	F. Lot monumentations are not required for this project G. This applies to subdivisions and does not apply to this applicant H. This applies to subdivisions and does not apply to this applicant I. This applies to subdivisions and does not apply to this applicant J. This applies to subdivisions and does not apply to this applicant K. There are no subdivisions within 200' of Lab property Q. No new signs are proposed for this project S. There are no stone walls, graveyards or fences on the Lab's property in the vicinity of the project T. There is no significant wildlife habitat on the property U. There are no critical natural areas on the Lab's property V. There are no historic or archaeological resources on the Lab's property X. No portion of the project is below the Normal High Water Line Y. The project is outside the 100-year flood zone Z. No portion of the project is subject to routine flooding or standing water DD. There are no existing/proposed ROWs or access to water EE. There is no existing or proposed access to adjacent undeveloped land FF. There is no recreation or open space proposed GG. There are no waste storage locations associated with this project JJ. This applies to subdivisions and does not apply to this applicant KK. No test pits are required for the proposed project
11. Landscaping, Buffering & Screening Plans	No buffering or screening is required by the ordinance. In addition, mature landscaping is in place along the Route 3 and Schooner Head Road corridors.
12. Street, Sidewalk and Access Plans	A.-M. No new streets, sidewalks, or access ways are proposed as part of this project
13. E-911	No new streets are proposed as part of this project
15. Subsurface Wastewater Disposal	A.-B. No subsurface wastewater disposal is proposed for this project
16. Groundwater	A.-C. No groundwater will be used for this project
18. Fire Protection	B. Fire Marshal approval will be obtained and evidence provided if requested
19. Solid and Hazardous Waste	No additional hazardous waste will be generated; copies of existing licenses have been provided in the past and can be provided again upon request.
20. Building Plans & Elevations	D. The project is not restaurants; no seating capacity plan is required
22. Signs	No signs are proposed for the project
23. Traffic	The project will create no increase in traffic, so a traffic impact study is not being provided
24. Technical & Financial Capacity	C. Resumes of key design/construction individuals can be provided upon request.



Checklist Item Number	Reason for Waiver Request
	D. The project is similar in scope to projects constructed at the Lab in years past. Descriptions of similar projects can be provided upon request.
25. Business Operations	B.-C. Operating hours are unchanged. The facility is operated by the property owner, The Jackson Laboratory.
26. Mining	A.-F. No mining is proposed at the Lab.

We believe this application provides all the information necessary for Completeness Review. Please let us know if you have any questions or require any additional information.

Thank you for your assistance with this project.

Sincerely,

WOODARD & CURRAN, INC.

A handwritten signature in blue ink, appearing to read 'Sarah Nicholson'.

Sarah Nicholson, P.E.
Project Manager

SSN/
229202

Enclosures

cc: Patrick Taber, The Jackson Laboratory
Brenda Bierman, The Jackson Laboratory

TABLE OF CONTENTS

SECTION	PAGE NO.
Exhibit 1 125-66.A FORM	1
Exhibit 2 125-66.B FEES, TAXES, COMPLIANCE WITH PREVIOUSLY APPROVED PLANS	2
Exhibit 3 125-66.C TITLE AND INTEREST	3
Exhibit 4 125-66.D LEGAL DOCUMENTS	4
Exhibit 5 125-66.E PERMITS.....	5
Exhibit 6 125-66.F APPROVAL OF CAPACITY AND DESIGN.....	6
Exhibit 7 125-66.G, H, I DESIGN APPROVAL.....	7
Exhibit 8 125-66.J LOCATION MAP.....	8
Exhibit 9 125-66.J MAPS, PLATS, OR PLANS	10
Exhibit 10 125-42 MEDIUM DENSITY SOILS SURVEY	17
Exhibit 11 125-42 BUFFERING AND SCREENING.....	19
Exhibit 12 125-44 STREETS, SIDEWALKS AND ACCESS	20
Exhibit 13 125-66.K ASSESSOR'S CERTIFICATION OF STREET NAMES.....	23
Exhibit 14 125-66.L PHOTOGRAPHS	24
Exhibit 15 125-66.M SUBSURFACE WASTEWATER DISPOSAL.....	28
Exhibit 16 125-66.N GROUNDWATER.....	29
Exhibit 17 125-66.O EROSION AND SEDIMENTATION	30
Exhibit 18 125-66.P FIRE PROTECTION	36
Exhibit 19 125-66.Q SOLID WASTE AND HAZARDOUS WASTE OR MATERIAL.....	37
Exhibit 20 125-66.R BUILDING PLANS, ELEVATIONS, AND INTERIOR USE	38
Exhibit 21 125-66.S LIGHTING.....	45
EXHIBIT 22 125-66.T SIGNS.....	48
EXHIBIT 23 125-66.U TRAFFIC IMPACT	49
EXHIBIT 24 125-66.V TECHNICAL AND FINANCIAL CAPACITY	50
EXHIBIT 25 125-66.W BUSINESS OPERATIONS	51
EXHIBIT 26 125-66.X MINING	52

LIST OF TABLES

TABLE	PAGE NO.
Table 1: Waivers Requested.....	11
Table 2: Lot Coverage.....	13
Table 3: Parking Table.....	21

LIST OF FIGURES

Figure 8-1:	Location Plan.....	9
Figure 9-1:	Site Plan	14
Figure 9-2:	Pre-Development Site Plan Detail	15
Figure 9-3:	Post-Development Site Plan Detail	16
Figure 10-1:	SCS Soils Map	18
Figure 12-1:	Typical Paved Drive / Parking Lot Base Detail	22
Figure 14-1:	Project Site Aerial Photograph	26
Figure 14-2:	Photo Location Plan	27
Figure 17-1:	Erosion and Sedimentation Control Plan.....	33
Figure 17-2:	Erosion Control Notes	34
Figure 17-3:	Catch Basin Inlet Protection Detail	35
Figure 20-1:	Exterior Elevations – South	39
Figure 20-2:	Exterior Elevations – North.....	40
Figure 20-3:	Exterior Elevations – East	41
Figure 20-4:	Ground Floor Plan	42
Figure 20-5:	First Floor Plan	43
Figure 20-6:	Third Floor Plan.....	44
Figure 21-1:	Lighting Plan.....	47

EXHIBIT 1
125-66.A FORM

Exhibit 1 contains the completed checklist and Site Plan Review Application on the form provided by the Planning Department. There is not registered farmland within 150 feet of the proposed project site.

The proposed project is construction of the new Center for Biometric Analysis (CBA). This will be a three story, 10,318 sf footprint (31,000 sf total) addition to the Core Research Complex that will provide state-of-the-art physiology, imaging and behavioral testing facilities. The facility is proposed for construction attached to the existing Core Research Complex to leverage existing JAX investments in utility infrastructure, materials process and sterilization equipment, materials circulation, and scientific equipment cores. The Center will consist of a mix of modern and efficient imaging, physiology, and behavioral acclimation and testing modules, mouse holding vivaria, adaptable scientific service cores, and mechanical/electrical infrastructure spaces.

Access to the site by the Bar Harbor Code Enforcement Officer is allowed as indicated in the Certification paragraph of the Site Plan Application Form.

Application Number: SP-2014-3 Applicant Name Jackson Labs ^{under commercial} Analysis
 Map 253 Lot 3 Date: 4/4/14 Time: 9am
 Department Official A. Chamberlain B. Osborne Permitted Use Research Facility

**BAR HARBOR PLANNING DEPARTMENT
 SITE PLAN/SUBDIVISION APPLICATION CHECKLIST**

NOTICE TO APPLICANT: A Planning Department Official will check each item reasonably expected to be required for a complete application. Additional information not suggested by the Department, may be required. If you do not wish to submit any of the items requested, you should submit a written request for a waiver and indicate it in the waiver column. A list of waivers should then be included with the application. The original checklist and all submissions, plus nine (9) additional copies, must be submitted to the Planning Department.

By its nature, this form is merely a summary of applicable sections of the Bar Harbor Land Use Ordinance. It is not intended to replace the ordinance and does not relieve the applicant of the obligation to read the ordinance and to be in compliance with the terms.

The applicant is advised that the ordinance contains additional details and performance standards and should be consulted by the applicant in preparing a complete application

PREAPPLICATION MEETING held on _____

	Exhibit	Waiver
1. SITE PLAN APPLICATION (10 copies)		
A <input type="checkbox"/> Checklist	✓	_____
B <input type="checkbox"/> Property Owner's Name/Address	_____	_____
C <input type="checkbox"/> Applicant's Name/Address	_____	_____
D <input type="checkbox"/> Project Representatives Name/Address	_____	_____
E <input type="checkbox"/> Abutters Name & Address within 300 ft. of Property Lines	_____	_____
F <input type="checkbox"/> Indication of Registered Farmland within 150 ft. - STAFF PROVIDED	_____	_____
G <input type="checkbox"/> Description of Proposed Use	_____	_____
H <input type="checkbox"/> Written Authorization for Town Official Access	↓	_____
2. FEES PAID - Copy of Receipt		
A <input type="checkbox"/> Administrative Fee	✓	_____
B <input type="checkbox"/> Evidence of Ordinance & Regulation Compliance - STAFF PROVIDED	✓	_____
3. TITLE and INTEREST		
A <input type="checkbox"/> Current Deed or	✓	_____
B <input type="checkbox"/> Purchase and Sale Agreement	_____	✓
C <input type="checkbox"/> Easements, Deed Restriction, R.O.W's, etc	_____	✓
4. LEGAL DOCUMENTS		
A <input type="checkbox"/> Proposed Easements, Covenants, Agreements, etc.	_____	✓
B <input type="checkbox"/> Proposed Deed for Roads or Other Property to be Dedicated	_____	_____
C <input type="checkbox"/> Proposed Performance and Plant Maintenance Guarantees	_____	_____
D <input type="checkbox"/> For condominiums proposed declaration, By Laws, etc.	_____	_____
E <input type="checkbox"/> Site Restoration Guarantee (if required)	_____	↓

5. PERMITS

- A Army Corps of Engineers
- B Maine D.E.P. *site location*
- C Other

Exhibit	Waiver
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

6. STATEMENTS OF CAPACITY & DESIGN

- A Police - STAFF PROVIDED
- B Public Works - Solid Waste; Storm Water; Street. and Recreation - STAFF PROVIDED
- C Sewer - STAFF PROVIDED
- D Schools & Busing
- E Water - STAFF PROVIDED

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

7. DESIGN PLANS

- A Public Water Supply
- B Central Private Water Supply
- C Individual Wells
- D Fire Hydrants, Dry Hydrants, and Fire Ponds
- E Public Sewer
- E Central Subsurface Wastewater System
- F Shared Subsurface Wastewater System
- G Stormwater Disposal System
- H All Other Utilities. incl. Gas, Electricity, and Cable Television

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

7.1 DESIGN APPROVAL by State & Local Agencies

- A Central Water Supply (D.H.S.)
- B Individual Wells (D.H.S.)
- C Central Subsurface Sewage Disposal (D.H.S.)
- D Waste Water Discharge (D.E.P.)
- E Curb Cut (M.D.O.T. and/or Bar Harbor Public Work Dept)

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

MAPS & PLANS

8. Location Map (Location indicated on a USGS 7.5 minute map)

- Magnetic North
- Plan Preparation Date
- Graphic Scale
- Owner & Applicant Name/Address
- Designer, Surveyor, Engineer
- Name of each Municipality in which the development is located
- Tax Map & Lot Number(s)
- Land Use District(s)

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

9. SITE PLAN Scale not to Exceed 1"=40'

Exhibit Waiver

	<input type="checkbox"/> Magnetic North	✓	
	<input type="checkbox"/> Plan Preparation Date	↓	
	<input type="checkbox"/> Graphic Scale	↓	
	<input type="checkbox"/> Owner & Applicant Name/Address	↓	
	<input type="checkbox"/> Designer, Surveyor, Engineer	↓	
	<input type="checkbox"/> Name of each Municipality in which the development is located	↓	
A	<input type="checkbox"/> Abutting Property owners with Book and Page References	↓	
B	<input type="checkbox"/> Tax Map & Lot Number(s)	↓	
C	<input type="checkbox"/> Land Use District(s)	↓	
D	<input type="checkbox"/> Lot Line Dimensions (metes & bounds)	↓	
E	<input type="checkbox"/> Lot Size in Square Feet	↓	
F	<input type="checkbox"/> Locations of Lot Monumentations	↓	
G	<input type="checkbox"/> Total Proposed Development Acreage	↓	✓
H	<input type="checkbox"/> Remaining Undeveloped Land Retained	↓	↓
I	<input type="checkbox"/> Lot Numbers	↓	↓
J	<input type="checkbox"/> Lots Developed/Sold within Past 5 Years	↓	↓
K	<input type="checkbox"/> Subdivisions within 200 ft. With Owners Names	↓	↓
L	<input type="checkbox"/> Existing/Proposed Contours @ 5 or 10 ft. Intervals	✓	↓
M	<input type="checkbox"/> Items within 200 feet of the subject property:		
	<input type="checkbox"/> Buildings & Structures	↓	
	<input type="checkbox"/> Streets (W/names)	↓	
	<input type="checkbox"/> Sidewalks	↓	
	<input type="checkbox"/> Easements	↓	
	<input type="checkbox"/> Driveways, Entrances, Exits	↓	
N	<input type="checkbox"/> Location of Existing & Proposed Buildings/Structures On Site	↓	
O	<input type="checkbox"/> Distance between Proposed Buildings/Structures On Site	✓	
P	<input type="checkbox"/> Utilities Locations - Existing/Proposed	✓	
Q	<input type="checkbox"/> Sign Locations - Existing/Proposed	✓	
R	<input type="checkbox"/> Open Drainage Courses, Wetlands, and Gravel Aquifers	✓	
S	<input type="checkbox"/> Stone Walls, Graveyards, and Fences	✓	
T	<input type="checkbox"/> Significant Wildlife Habitat or Spawning Grounds Locations (I.F.&W.)	↓	✓
U	<input type="checkbox"/> Rare & Irreplaceable Natural Areas Locations (Critical Areas Program)	↓	↓
V	<input type="checkbox"/> Historic & Archaeological Site Locations	↓	↓
W	<input type="checkbox"/> Wetlands & Waterbody Locations within 200' (regardless of size)	↓	↓
X	<input type="checkbox"/> Shoreline	↓	↓
Y	<input type="checkbox"/> 100 Year Flood Elevation	↓	↓
Z	<input type="checkbox"/> Portions of the Site Subject to Routine Flood/Standing Water	↓	↓
AA	<input type="checkbox"/> Lot Lines and Water bodies Setbacks	↓	↓
BB	<input type="checkbox"/> Fire Hydrants & Fire Ponds Existing/Proposed	✓	
CC	<input type="checkbox"/> Fire/Emergency Equipment Site Access	✓	
DD	<input type="checkbox"/> Easements/Access to Water Bodies Existing/Proposed	✓	
EE	<input type="checkbox"/> Access Locations to Adjacent Undeveloped Land	↓	✓
FF	<input type="checkbox"/> Recreation/Open Space Land Existing/Proposed	↓	↓
GG	<input type="checkbox"/> Solid, Industrial, Chemical, Explosive or Hazardous Waste Locations	↓	↓
HH	<input type="checkbox"/> Lot Coverage Calculations - Existing/Proposed	↓	↓
II	<input type="checkbox"/> Parking Locations with Dimension, Angles, Radii, etc	✓	
JJ	<input type="checkbox"/> Subdivision Name	✓	✓
KK	<input type="checkbox"/> Soil Test Pit Locations	↓	✓

Exhibit ✓ Waiver _____

10. Medium Density Soil Survey -STAFF PROVIDED

11. LANDSCAPING, BUFFERING & SCREENING PLAN - EXISTING & PROPOSED

- Magnetic North
- Plan Preparation Date
- Graphic Scale
- Owner & Applicant Name/Address
- Designer, Surveyor, Engineer
- Tax Map & Lot Number(s)
- Land Use District(s)
- Name of each Municipality in which the development is located
- A Botanical & Common Names
- B Plant Locations & Size
- C Installation Schedule
- D Maintenance Plan
- E Vegetation Clearing Limits
- F Tree (8+ " d.b.h.) Locations

12. STREET, SIDEWALK & ACCESS PLAN

Construction Drawings Showing a Plan View, Profile, and Typical Cross Section of the following within 300' at 50' Intervals

- A Drainage Scheme at all Intersections Existing/Proposed
- B Intersections of Proposed Streets with Existing Streets
- C Access - Roadway/R.O.W. with Edge of Payment, Shoulders, Sidewalks and Curbs
- D Drainage Feature - Type, Size, Profile, Cross Section, and Inverts
- E Horizontal & Vertical Curve Data
- F Intersections - Turning Radii
- G Centerline Grade
- H Bearing, Distance, Tangent, Radii for All Street Lines
- I Location, Dimension, Grade, Radii of Accel and Decel Lanes
- J Design Details for Street Improvements
- K Travel Direction
- L Crosswalk Locations
- M Street Names

13. E-911

- Street Name Certification by Addressing Officer

14. PHOTOGRAPHS (All pictures must be labeled with a description)

- A Town's Aerial Photograph
- B Pictorial of Site from Public Ways, Site Location (N,S,E,W)
 - Existing Improvements within 200'
 - Existing Vegetation within 200'
 - Other Physical and Natural Features within 200'

15. SUBSURFACE WASTEWATER DISPOSAL

- A HHE 200 Forms
- B Cumulative Impact Assessment

24. TECHNICAL & FINANCIAL CAPACITY

- A Cost Estimate
- B Financing Arrangements
- C Curriculum Vita of Each Professional Assoc With Project
- D Descriptions of Similar Project by Developer

Exhibit	Waiver
✓	
✓	
	✓
	✓

25. BUSINESS OPERATIONS

- A Operating Statement & Mitigation Plan
- B Employment & Operation Hours Projections
- C Operator Information (if not owner)

✓	
	✓
	✓

26. MINING

- A D.E.P. Permit where Applicable
- B Extraction Plan
- C Restoration Plan
- D Performance Guarantee for Restoration Plan
- E Washing Operation Plans
- F Evidence of Insurance

	✓
	↓
	↓
	↓
	↓
	↓



**BAR HARBOR PLANNING BOARD
APPLICATION FOR SITEPLAN**

(as described by Article V of the Bar Harbor Land Use Ordinance)

APPLICATION # SD - 2016 - 3

DATE April 6, 2016

FEE \$ 2,282.00 **MAP** 257 **LOT** 1 **USE** _____

APPLICANT :

Name The Jackson Laboratory, C/O Pat Taber

Address 600 Main Street

Bar Harbor, ME 04609

Telephone 207-288-6580

Email patrick.taber@jax.org

OWNER :

Name The Jackson Laboratory, C/O Pat Taber

Address 600 Main Street

Bar Harbor, ME 04609

Telephone 207-288-6580

Email patrick.taber@jax.org

PROJECT REPRESENTATIVES:

Name Woodard & Curran, C/O Sarah Nicholson

Address One Merchants Plaza - Suite 501

Bangor, ME 04401

Telephone 207-945-5105

Email snicholson@woodardcurran.com



BAR HARBOR PLANNING BOARD
APPLICATION FOR SITEPLAN

(as described by Article V of the Bar Harbor Land Use Ordinance)

Please provide a complete written summary that accurately describes the project for which you seek approval (attach additional pages if necessary) :

The proposed project is construction of the new Center for Biometric Analysis (CBA). This will be a three story, 10, 318 sf footprint addition to the Core Research Building Complex that will provide state-of-the-art physiology, imaging and behavioral testing facilities.

CERTIFICATION:

This application and all information submitted are true and correct to the best of our knowledge. If approval is granted, all work executed shall be performed in strict conformance with the approved application, conditions imposed by the Bar Harbor Planning Board and the Bar Harbor Land Use Ordinance. **Permission is hereby granted to the Bar Harbor Code Enforcement Officer, or his/her designee, to enter and have access to the subject property at all times during and immediately upon completion of construction to ensure compliance with the approved application and the Bar Harbor Land Use Ordinance.** Failure to grant such access shall result in the immediate issuance of a stop work order.

It is understood that no application shall be deemed pending until and unless it has been certified as complete by the Bar Harbor Planning Board, that the Planning Board shall not conduct substantive review, a review of the application to determine whether it complies with the standards set forth in the Bar Harbor Land Use Ordinance, until the application has been deemed complete. It is further understood that neither the submission or review of, nor public comments about a pre-application sketch plan, nor the conduct of a site inspection shall be construed to be a substantive review of the proposed development.

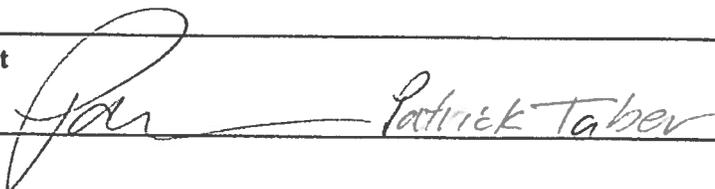
Applicant		Date
Owner	Patrick Taber	4-6-2016
		Date

EXHIBIT 2

125-66.B FEES, TAXES, COMPLIANCE WITH PREVIOUSLY APPROVED PLANS

The administrative and public notice fee, totaling \$2,282, is provided in conjunction with the submission of this Site Plan Review Application. The estimated cost for the proposed project is \$11,900,000, with a total cost including equipment of \$21,000,000. As the building cost is greater than one million dollars, the project will be considered a Large Commercial Development for permitting purposes.

The Jackson Laboratory is a non-profit institution that does not pay local property taxes. No other evidence of compliance is necessary.

The Jackson Laboratory is in compliance with all Land Use ordinances and regulations of the Town of Bar Harbor. A memo from the Town Planning Department confirming this is pending.



EXHIBIT 3**125-66.C TITLE AND INTEREST**

The Jackson Laboratory is located on several parcels of land in the Town of Bar Harbor. The Site Plan included in Exhibit 9 illustrates the parcel boundaries. Corresponding deeds documenting the Lab's title to those parcels are on file with the Town; copies will be made available upon request. No purchase and sales agreements are required for this project, as the applicant owns the property. There are no other existing or proposed easements, deed restrictions, rights-of-way, or other deed encumbrances that affect the property or the proposed project.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 4

125-66.D LEGAL DOCUMENTS

There are no proposed easements, covenants, agreements, or other legal documents needed for the proposed projects. It is also not necessary to secure deeds for roads or other dedicated properties, or to propose performance, maintenance, or restoration guarantees.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 5

125-66.E PERMITS

The Jackson Laboratory's Site Location of Development Permit (SLOD) #L-015327-26 will be revised to include the CBA project. This will require a minor amendment, which is being applied for concurrently with the Town's permitting process. A copy of the SLOD minor amendment permit approval can be provided when it is received.

The project will not impact any wetlands, so no permitting with the Army Corps or under the Natural Resources Protection Act (NRPA) will be required.

Since the disturbed area associated with construction of this project will be less than one acre, no Maine Construction General Permit notification will be necessary for the project.

No other permits beside the SLOD revision are required for this project.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 6

125-66.F APPROVAL OF CAPACITY AND DESIGN

The proposed project will not significantly impact any public services. The new addition (to the Core Research Complex) will be located on the interior of the campus, so there will be no significant impact to the streets, their maintenance, or police. Solid waste generation and handling is discussed in Exhibit 19. The project will have no impact on schools and busing, nor on any recreational areas. There will not be a significant increase in demand on the water and wastewater utilities of the Town. The impact on these systems is discussed below.

Anticipated water use in the CBA is based on the expected use of the rooms to be constructed and the estimated water consumption associated with those uses. As illustrated on the floor plans of Figures 20-1 and 20-2, the proposed facility includes 1,080 square feet of animal holding space, typically estimated at 1.72 gallons per day (gpd) water use/square foot of area.

To estimate conservatively, we've identified the rest of the floor area to be science spaces, estimated at 0.18 gpd water use per square foot. Based on this, the total estimated water use and subsequent wastewater generation is estimated at approximately 7,065 gpd. The water for the CBA will be supplied off of the existing water mains on campus, connected directly into the adjoining building. The water use and wastewater generation is not a significant increase of water use or wastewater generation at the Lab.

The project will have no significant impact on stormwater runoff from the site. The CBA is being constructed on an area that is already paved, so there will be no increase or change in the direction of runoff flow.

A HydroCAD stormwater analysis model was done for the SLOD amendment completed in 2003 when the entire Lab was modeled. Further analysis was done for the permitting of the Core Ops Center, yet to be built. As the CBA project site will be unchanged in terms of runoff, we have not prepared a stormwater analysis.

While the proposed addition of the CBA at the Jackson Lab will not significantly alter stormwater flow from the site, the DEP stormwater rules require that projects that "redevelop" existing pavement must meet the quality rules to the extent practicable. The proposed roof runoff filter (shown on the Site Plan) will make the CBA fully compliant with the State stormwater rules.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 7
125-66.G, H, I DESIGN APPROVAL

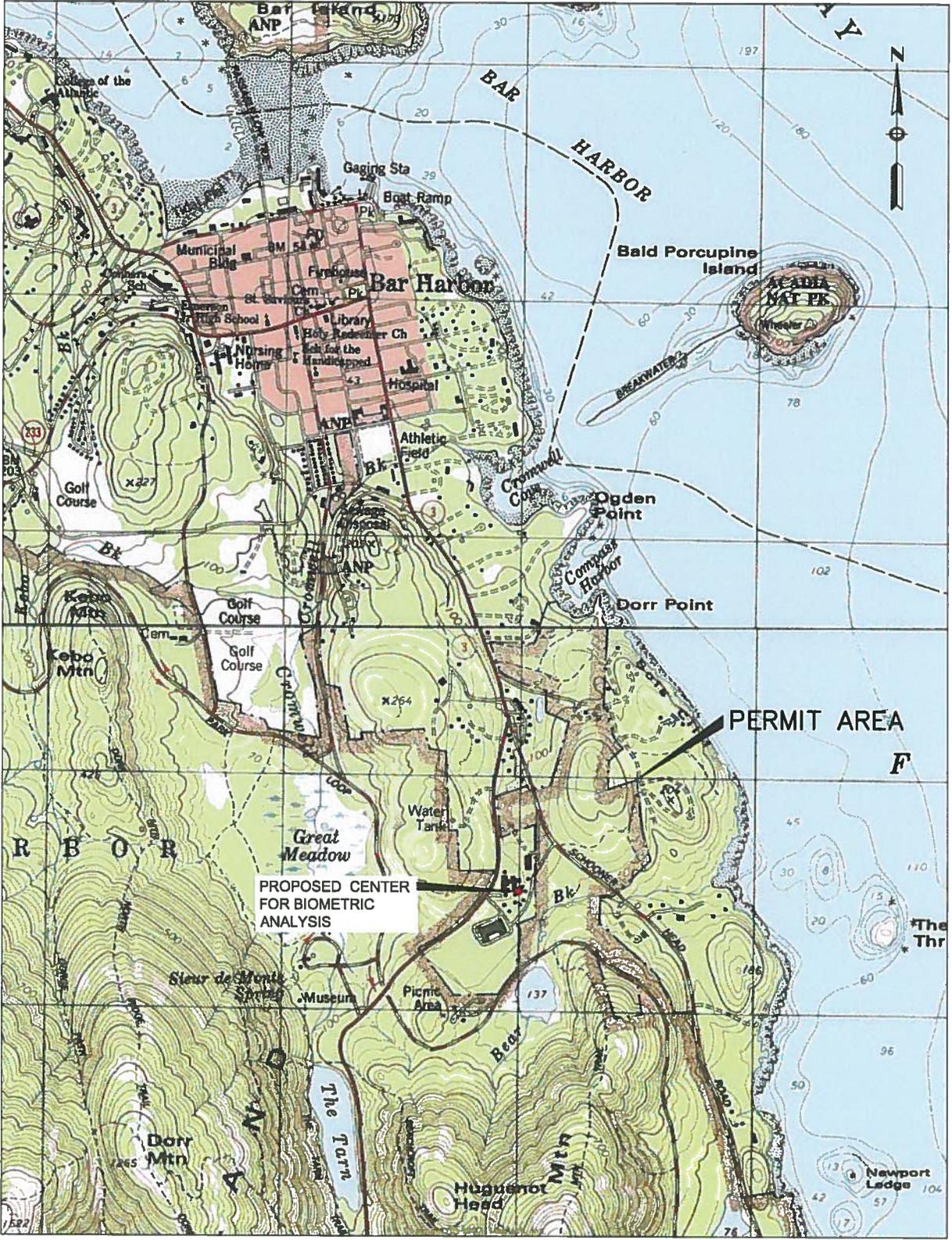
No central water supply, individual well, central sewage disposal system, wastewater discharge, curb cut, or any other design component requiring approval of a State or Local Agency, except as previously discussed in Exhibit 6, is part of the proposed project. Therefore, no design approvals are included in this exhibit. All water and wastewater connections are shown are internal to the adjacent buildings and, therefore, are not illustrated on the site plans in Exhibit 9.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 8

125-66.J LOCATION MAP

A Location Map is included as Figure 8-1 of this exhibit. The source of the figure is the Bar Harbor USGS 7½ Series Quadrangle. It shows the location of the proposed projects in relation to the surrounding area. As indicated on the figure, the scale of the map is 1" = 2,000'.



SOURCE:
 U.S.G.S. TOPOGRAPHIC QUADRANGLE
 BAR HARBOR, MAINE AND SEAL
 HARBOR, MAINE, AT 1:24,000.



One Merchants Plaza, Suite 501
 Bangor, Maine 04401
 207.945.5105 | www.woodardcurran.com

COMMITMENT & INTEGRITY DRIVE RESULTS

LOCATION PLAN

DESIGNED BY: SSN	CHECKED BY: SSN
DRAWN BY: NTD	229202-FIG B-1-town app.dwg

The Jackson Laboratory
 Bar Harbor, Maine

TOWN OF BAR HARBOR
 SITE PLAN REVIEW APPLICATION
 CENTER FOR BIOMETRIC ANALYSIS

JOB NO: 229202
 DATE: APRIL, 2016
 SCALE: 1"=2000'

FIGURE 8-1

EXHIBIT 9

125-66.J MAPS, PLATS, OR PLANS

Exhibit 9 contains plans illustrating the proposed projects and existing conditions at the sites. All information requested by the application that is relevant to the existing conditions or the proposed projects is illustrated on one or several of the plans as explained below.

The Site Plan, Figure 9-1, gives a general orientation of the projects in relation to the abutting properties. The footprints of the proposed project are identified. The scale of the plan is 1"= 200'.

The Site Plan Details show the pre- and post-site conditions at a scale of 1"= 40'.

The Exhibit 9 checklist items, referenced by their checklist letter, are tabulated in the following table and shown on the Site Plan and the Existing and Proposed Site Plan Details as indicated in the table.

The CBA location is primarily already impervious area accounting for in the existing lot coverage calculation. Some currently vegetated area will be converted to building (3560 sf.) and some to pavement/non-vegetated (550 sf). In addition, and area that is currently paved will become grass (600 sf), making the total increase in lot coverage 3,510 sf.

125-66.J Flood Permit

A Flood Zone Map was not required for this project as The Jackson Laboratory is not located within either the 100-year or the 500-year flood zones, as determined by the Federal Emergency Management Agency. No Flood Hazard Development Permit will be necessary for the proposed project.

As documented in the cover letter and in the table below, waivers are requested for this exhibit.



TABLE 1: WAIVERS REQUESTED

Checklist Item	Figure 9-1 Site Plan	Figure 9-2 Existing Site Plan Detail	Figure 9-3 Proposed Site Plan Detail	N/A	None on site. (waiver requested)
A. Abutting Property Owners with Book and Page References	X				
B. Tax Map & Lot Number(s)	X				
C. Land Use District(s)	X				
D. Lot Line Dimensions (metes & bounds)	X				
E. Lot Size in Square Feet	X				
F. Locations of Lot Monumentations					X
G. The Exact Acreage of Property Development	X				
H. Remaining Undeveloped Land Retained				X	X
I. Lot Numbers				X	X
J. Lots Developed/Sold w/in Past 5 Years				X	X
K. Subdivision w/in 200' With Owners Names				X	X
L. Existing/Proposed Contours @ 5 or 10 ft. Intervals	X	X	X		
M. Existing Buildings & Structures, Streets, Sidewalks, Easements, Driveways, Entrances and Exits w/in 200' of Proposed Project	X				
N. Location of Existing & Proposed Buildings / Structures on Site	X	X	X		
O. Distance between Proposed Buildings / Structures on Site			X		
P. Utilities Locations – Existing/Proposed		X	X		
Q. Sign Locations – Existing/Proposed	X			X	X
R. Open Drainage Courses, Wetlands, and Gravel Aquifers	X		X		



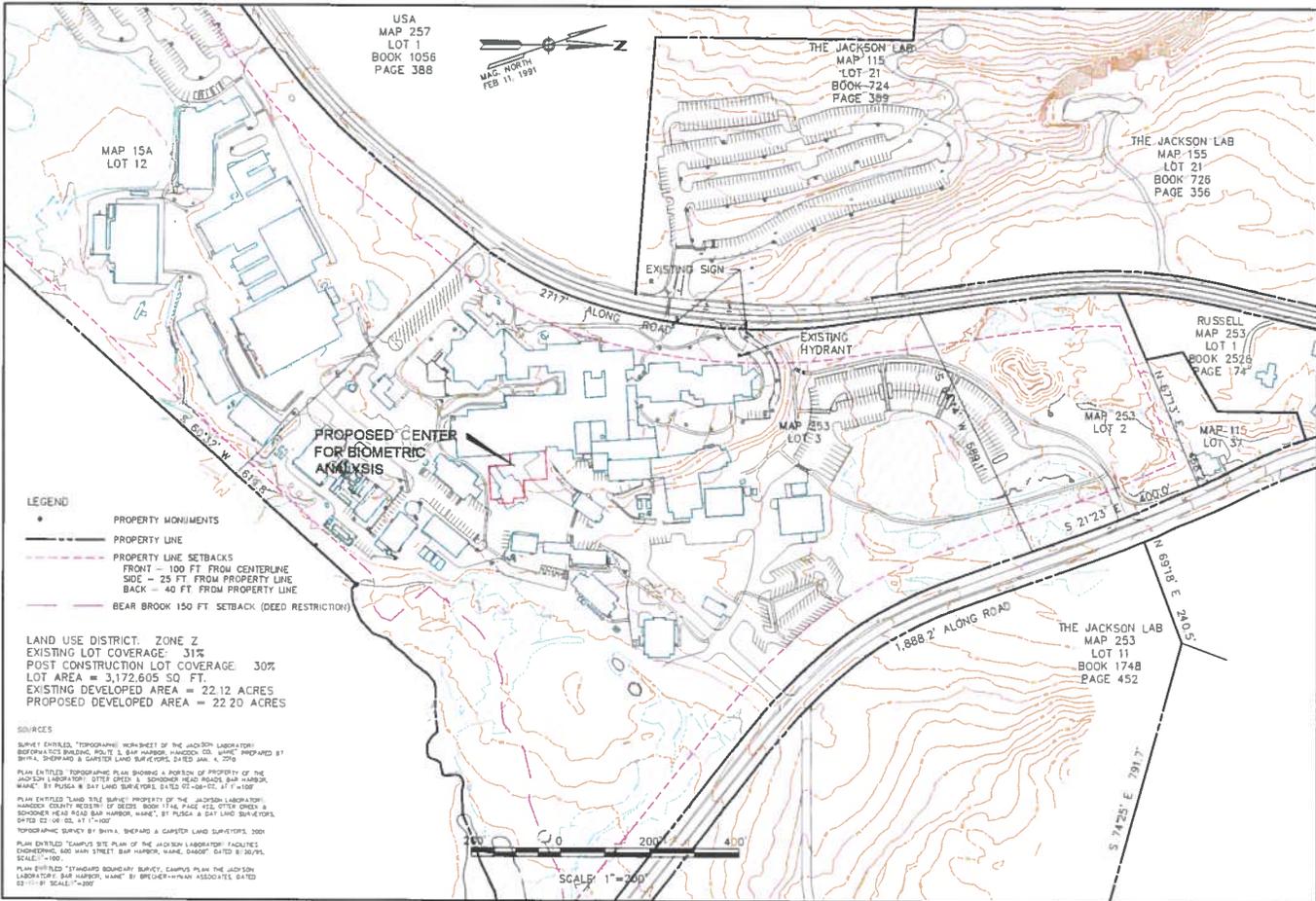
Checklist Item	Figure 9-1 Site Plan	Figure 9-2 Existing Site Plan Detail	Figure 9-3 Proposed Site Plan Detail	N/A	None on site. (waiver requested)
S. Stone Walls, Graveyards, and Fences				X	X
T. Significant Wildlife Habitat or Spawning Grounds Locations (IF&W)				X	X
U. Rare & Irreplaceable Natural Areas Locations (Critical Areas Program)				X	X
V. Historic & Archaeological Site Locations				X	X
W. Wetlands & Waterbody Locations within 200' (regardless of size)	X				
X. Normal High Water Line				X	X
Y. 100 Year Flood Elevation				X	X
Z. Portions of Site Subject to Routine Flooding/Standing Water				X	X
AA. Lot Lines and Setbacks	X	X	X		
BB. Fire Hydrants & Fire Ponds Existing/Proposed	X	X	X		
CC. Fire/Emergency Equipment Site Access with Location and Dimension	X		X		
DD. Easements/Access to Waterbodies Existing/Proposed				X	X
EE. Access Locations to Adjacent Undeveloped Land				X	X
FF. Recreation /Open Space Land Existing/Proposed				X	X
GG. Solid, Industrial, Chemical, Explosive or Hazardous Waste Locations				X	X
HH. Lot Coverage Calculations – Existing/Proposed	X	A Lot Coverage Calculation spreadsheet is included in this exhibit			
II. Parking Locations with Dimension, Angles, Radii, etc	X	X	X		
JJ. Subdivision Name				X	X
KK. Soils Test Pit Locations				X	X



TABLE 2: LOT COVERAGE

Proposed Project: Center for Biometric Analysis							
Before Proposed Project							
Parcel	Description	Map; Lot	Total Lot Area		Footprint Area		Lot Coverage %
			sq. ft.	acres	sq. ft.	acres	
A	Main Campus	253; 7, 3, 2, 4, 5 and 115; 37	3,172,605	72.83	963,717	22.12	30.38%
B	Lot B and Woodland Cottages	115; 21	1,599,088	36.71	142,657	3.27	8.92%
C	East side of Schooner Head Road	253; 11	1,591,247	36.53	-	0.00	0.00%
D	High Seas Cottage	259; 1	182,952	4.20	14,800	0.34	8.09%
After Proposed Project							
Parcel	Description	Proposed Project sq. ft.	Total Lot Area		Footprint Area		Lot Coverage %
			sq. ft.	acres	sq. ft.	acres	
A	Main Campus	3,510	3,172,605	72.83	967,227	22.20	30.49%
B	Lot B and Woodland Cottages		1,599,088	36.71	142,657	3.27	8.92%
C	East side of Schooner Head Road		1,591,247	36.53	-	0.00	0.00%
D	High Seas Cottage		182,952	4.20	14,800	0.34	8.09%
Totals			6,545,892	150.27	1,124,684	25.82	17.18%

USA
MAP 257
LOT 1
BOOK 1056
PAGE 388



- LEGEND**
- PROPERTY MONUMENTS
 - PROPERTY LINE
 - - - PROPERTY LINE SETBACKS
 - FRONT - 100 FT FROM CENTERLINE
 - SIDE - 25 FT FROM PROPERTY LINE
 - BACK - 40 FT FROM PROPERTY LINE
 - - - BEAR BROOK 150 FT SETBACK (DEED RESTRICTION)

LAND USE DISTRICT: ZONE Z
EXISTING LOT COVERAGE: 31%
POST CONSTRUCTION LOT COVERAGE: 30%
LOT AREA = 3,172,605 SQ. FT.
EXISTING DEVELOPED AREA = 22.12 ACRES
PROPOSED DEVELOPED AREA = 22.20 ACRES

SOURCES
 SURVEY ENTITLED "TOPOGRAPHIC WORKSHEET OF THE JACKSON LABORATORY BIODIVERSITY BUILDING, ROUTE 1, BAR HARBOR, HADDOCK IS., MAINE" PREPARED BY SHYLA SHEPARD & GARDNER LAND SURVEYORS, DATED JAN. 4, 2016
 PLAN ENTITLED "TOPOGRAPHIC PLAN SHOWING A PORTION OF PROPERTY OF THE JACKSON LABORATORY, OTTER CREEK & SCHWENKER HEAD ROADS, BAR HARBOR, MAINE" BY PUSLA & DAY LAND SURVEYORS, DATED 02-08-2012, 01-7-1012
 PLAN ENTITLED "LAND TITLE SURVEY" PROPERTY OF THE JACKSON LABORATORY, HADDOCK COUNTY REGISTER OF DEEDS BOOK 1748, PAGE 452, OTTER CREEK & SCHWENKER HEAD ROADS, BAR HARBOR, MAINE, BY PUSLA & DAY LAND SURVEYORS, DATED 02-08-2012, 01-7-1012
 TOPOGRAPHIC SURVEY BY SHYLA SHEPARD & GARDNER LAND SURVEYORS, 2000
 PLAN ENTITLED "CAMPUS SITE PLAN OF THE JACKSON LABORATORY FACILITIES, DORCHESTER, 600 MAIN STREET, BAR HARBOR, MAINE, CHAD" DATED 8/30/16, SCALE: 1"=100'
 PLAN ENTITLED "STANDARD BOUNDARY SURVEY, CAMPUS PLAN OF THE JACKSON LABORATORY, BAR HARBOR, MAINE" BY BREWER+HUNAN ASSOCIATES, DATED 03-11-11, SCALE: 1"=200'

City of Bar Harbor
 297 Main Street
 Bar Harbor, ME 04719
 www.barharbor.com
 COMMITMENT & CERTIFICATION STATEMENTS
WOODWARD & CURRAN

SITE PLAN

PROJECT NO. 221202
 DATE APRIL 2018
 SCALE: 1"=200'

The Jackson Laboratory
 Bar Harbor, Maine
TOWN OF BAR HARBOR
SITE PLAN REVIEW APPLICATION
CENTER FOR BIOMETRIC ANALYSIS

JOB NO. 221202
 DATE APRIL 2018
 SCALE: 1"=200'

FIGURE 9-1



LEGEND:

	EXISTING HYDRANT
	EXISTING SIGN (PARKING)
	EXISTING WATER VALVE
	EXISTING MANHOLE (Sewer, Drsn, Electric)
	EXISTING CATCH BASIN
	EXISTING LIGHT
	EXISTING UTILITY POLE
	EXISTING STORM DRAIN
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING SANITARY SEWER
	EXISTING FIRE LINE
	EXISTING WATER LINE
	EXISTING DUCTBANK
	EXISTING FORCE MAIN
	EXISTING CHILLED WATER RETURN
	EXISTING CHILLED WATER SUPPLY
	EXISTING HIGH PRESSURE STEAM
	EXISTING HIGH PRESSURE STEAM
	EXISTING HIGH PRESSURE STEAM
	EXISTING LIQUID PROPANE GAS



SOURCE:
 PLAN ENTITLED "THE JACKSON LABORATORY, BAR HARBOR, MAINE, CONSTRUCT NEW CHILLER BUILDING, GRADING, DRAINAGE AND EROSION CONTROL PLAN", SHEET C-103, AND "UTILITY PLAN", SHEET C-102, PREPARED BY COLBY COMPANY ENGINEERING, DATED 2013.07.03. STAMPED PRELIMINARY DRAWING NOT FOR CONSTRUCTION

BASE SURVEY PROVIDED BY SHYKA, SHEPPARD & GARSTER LAND SURVEYORS, DATED JUNE, 2007

PLAN ENTITLED "LAND TITLE SURVEY PROPERTY OF THE JACKSON LABORATORY, HANCOCK COUNTY REGISTRY OF DEEDS - BOOK 1748, PAGE 425, OTTER CREEK & SCHODDER HEAD ROAD BAR HARBOR MAINE" BY PLUSGA & DAY LAND SURVEYORS, DATED 02-06-02, AT 1"=100'

UTILITY LOCATIONS FROM DIGITAL PLAN TITLED JAXSITE_2000.dwg PROVIDED BY THE JACKSON LABORATORY ENGINEERING DEPARTMENT AND ARE APPROXIMATE.

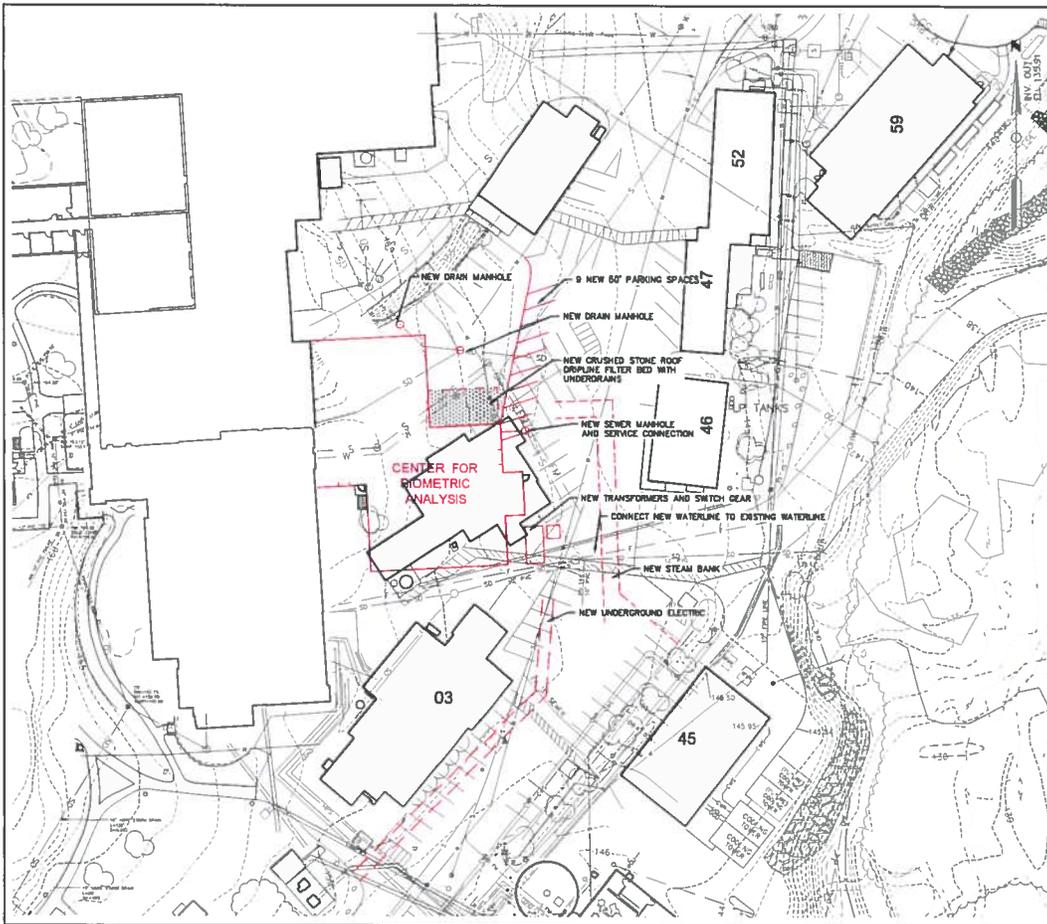
City of Bar Harbor, Maine, 04811
 207.245.5118 | www.barharbor.com
 COMMUNITY & INFRASTRUCTURE
WOODWARD & CURRAN

**PRE-DEVELOPMENT
SITE PLAN DETAIL**

THE JACKSON LABORATORY
 Bar Harbor, Maine
 TOWN OF BAR HARBOR
 SITE PLAN REVIEW APPLICATION
 CENTER FOR BIOMETRIC ANALYSIS

REGISTERED IN: MAINE
 EXPIRES: 03/31/2018
 LICENSE NO.: 229292-02
 SCALE: 1"=40'

FIGURE 9-2



LEGEND:

- EXISTING HYDRANT
- EXISTING SIGN (PARKING)
- EXISTING WATER VALVE
- EXISTING MANHOLE (Sewer, Drain Electric)
- EXISTING CATCH BASIN
- EXISTING LIGHT
- EXISTING UTILITY POLE
- EXISTING STORM DRAIN
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING SANITARY SEWER
- EXISTING FIRE LINE
- EXISTING WATER LINE
- EXISTING DUCTBANK
- EXISTING FORCE MAIN
- EXISTING CHILLED WATER RETURN
- EXISTING CHILLED WATER SUPPLY
- EXISTING HIGH PRESSURE STEAM
- EXISTING HIGH PRESSURE STEAM
- EXISTING LIQUID PROPANE GAS



SOURCE
 PLAN ENTITLED "THE JACKSON LABORATORY BAR HARBOR MAINE, CONSTRUCT NEW CHILLER BUILDING, GRADING, DRAINAGE AND EROSION CONTROL PLAN", SHEET C-103, AND "UTILITY PLAN", SHEET C-102, PREPARED BY COLBY COMPANY ENGINEERING, DATED 2013.07.03, STAMPED PRELIMINARY, DRAWING NOT FOR CONSTRUCTION.

BASE SURVEY PROVIDED BY SHYKA SHEPPARD & GARSTER LAND SURVEYORS, DATED JUNE, 2007.

PLAN ENTITLED "LAND TITLE SURVEY PROPERTY OF THE JACKSON LABORATORY, HANCOCK COUNTY REGISTRY OF DEEDS - BOOK 1746, PAGE 425, OTTER CREEK & SCHOONER HEAD ROAD BAR HARBOR, MAINE" BY PUSGA & DAY LAND SURVEYORS, DATED 02-05-02, AT 1"=100'.

UTILITY LOCATIONS FROM DIGITAL PLAN TITLED JANISIR_2000.dwg PROVIDED BY THE JACKSON LABORATORY ENGINEERING DEPARTMENT AND ARE APPROXIMATE.

City of Bar Harbor, Maine
 Planning & Zoning Dept.
 207.545.1101 | www.barharbor.com

WOODWARD & CURRAN
 COMMUNITY & INFRASTRUCTURE RESEARCH

**POST-DEVELOPMENT
 SITE PLAN DETAIL**

DESIGNED BY: [Name]
 DRAWN BY: [Name]

The Jackson Laboratory
 Bar Harbor, Maine

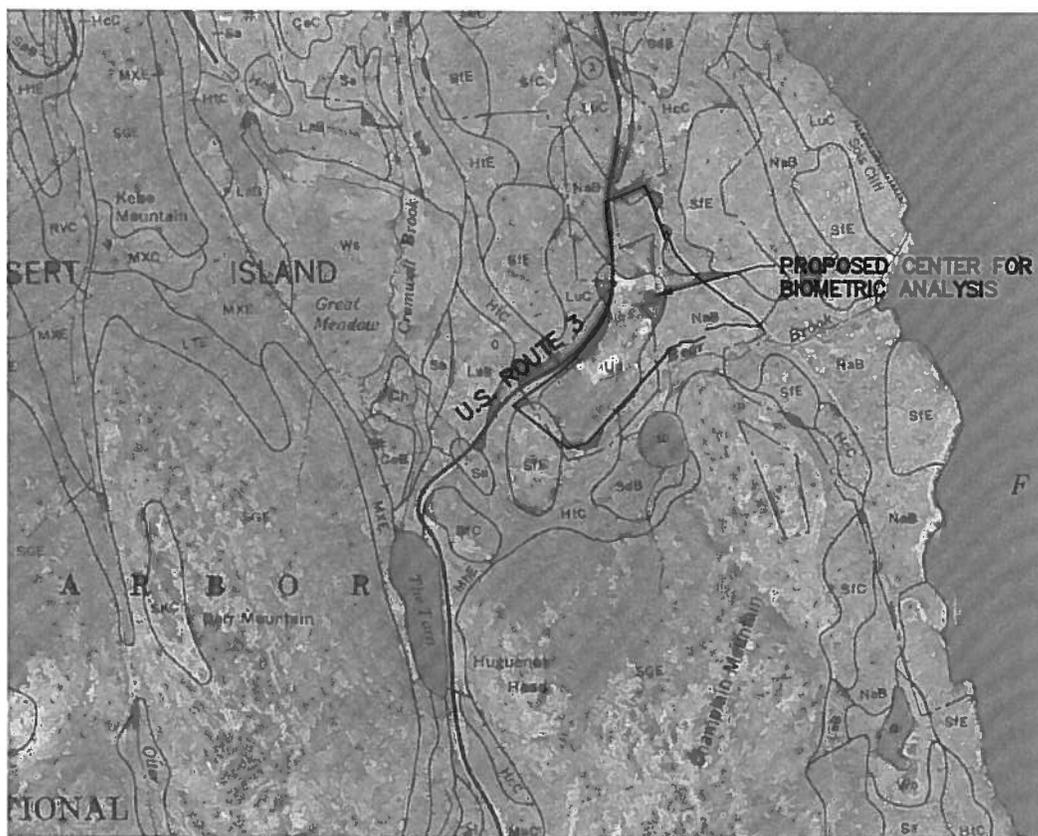
**TOWN OF BAR HARBOR
 SITE PLAN FOR CONSTRUCTION
 CENTER FOR BIOMETRIC ANALYSIS**

JOB NO: 229202
 DATE: APRIL 2018
 SCALE: 1"=40'

FIGURE 9-3

EXHIBIT 10
125-42 MEDIUM DENSITY SOILS SURVEY

The checklist for this Site Plan Review calls for a medium density soils survey. A copy of the United States Department of Agriculture Soil Conservation Service map is included in this exhibit as Figure 10-1.



SOILS LEGEND

- HcC** Hermon-Colton Rock outcrop complex, 3 to 15 percent slopes, very stony
- HtC** Hermon-Monadnock complex, 8 to 15 percent slopes
- LuC** Lyman-Tunbridge-Schoodic complex, rolling, very stony
- NaB** Naskeag-Schoodic complex, 0-8 percent slopes, very stony
- SfC** Schoodic-Rock outcrop complex, 0 to 15 percent slopes
- SfE** Schoodic -Rock outcrop complex, 15 to 65 percent slopes
- Ud** Udorthents-Urban land complex



SOURCE:
 UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES
 CONSERVATION SERVICE IN COOPERATION WITH MAINE AGRICULTURAL AND
 FOREST EXPERIMENT STATION AND MAINE SOIL AND WATER CONSERVATION COMMISSION
 SOIL SURVEY OF HANCOCK COUNTY AREA, MAINE, SHEET NUMBER 73, AT 1:20,000

 WOODARD & CURRAN	One Merchants Plaza, Suite 501 Bangor, Maine 04401 207.945.5105 www.woodardcurran.com	SCS SOILS MAP	JOB NO: 229202 DATE: APRIL, 2016 SCALE: 1"=2000'
	COMMITMENT & INTEGRITY DRIVE RESULTS	DESIGNED BY: SSN CHECKED BY: SSN DRAWN BY: NTD 229202-flg 10-1-town app.dwg	The Jackson Laboratory Bar Harbor, Maine TOWN OF BAR HARBOR SITE PLAN REVIEW APPLICATION CENTER FOR BIOMETRIC ANALYSIS

EXHIBIT 11

125-42 BUFFERING AND SCREENING

The setback for the corridor and other property lines are shown on Figure 9-1 in Exhibit 9. As shown, the project is well outside the 200-foot Route 3 corridor.

No landscaping is required for the proposed projects, so no landscaping plans are submitted.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 12

125-44 STREETS, SIDEWALKS AND ACCESS

Access to the proposed projects will be from existing access roads at the Lab. No new public streets, sidewalks, or other means of public access are required for the proposed project. Therefore, no plans for such improvements are included in this exhibit.

There will be 33 employees at the CBA, eight of whom will be new hires to JAX; the others will be existing employees who will be relocated from elsewhere at JAX. The spaces from which the existing JAX employees will be relocated will be converted to mouse rooms that will require six new employees to staff them. This will result in a total of 14 new employees. Additionally, there will be a loss of ten spaces in the vicinity of the project, but nine new spaces created, as shown on the Site Plans. The attached table shows the current population of the Lab and the number of parking spaces available.

As the table shows, there is adequate parking available at the Lab to meet the ordinance requirements. As Table 3 indicates, current parking available at the Lab meets the parking required per the Town of Bar Harbor's standard. Because of section 125-67.D.2 of the Bar Harbor ordinance, we are not at this time including the 40 new spaces that were added to Lot B in 2012 into the total available spaces as they are not "grandfathered" under this ordinance standard [*Required off-street parking shall be located on the same lot as the principal building or use that it serves...*].

As documented in the cover letter, waivers are requested for this exhibit.

TABLE 3: PARKING TABLE

Location	Regular Spaces	Visitor Spaces	Handicap Spaces	Contractor/Service Vehicles	Bicycle Motorcycle
Parking Lot A	227	0	1	0	2
Parking Lot B*	311	0	3	0	2
Parking Lot C	0	17	4	0	0
Parking Lot D	0	0	0	7	0
Parking Lot E	6	0	0	0	0
Parking Lot F	63	0	0	0	0
Lot D/B3 Roadway	19	0	5	0	2
Parking Lot G	155	0	2	11	0
Bldg. 17	0	0	0	3	0
Bldg. 28	0	0	4	7	0
Bldg. 12	0	0	0	0	0
Bldg. 33	0	0	5	0	0
Bldg. 4	5	4	0	0	0
Bldgs. 46, 47	10	0	0	0	1
Bldg. 52	3	0	0	2	0
Bldgs. 7 , 23	0	6	0	11	0
Bldg. 22	0	0	0	2	0
Bldg. 11	1	0	2	0	0
Total	800	27	26	43	7

* = Bike Spaces

** = Bus Spaces

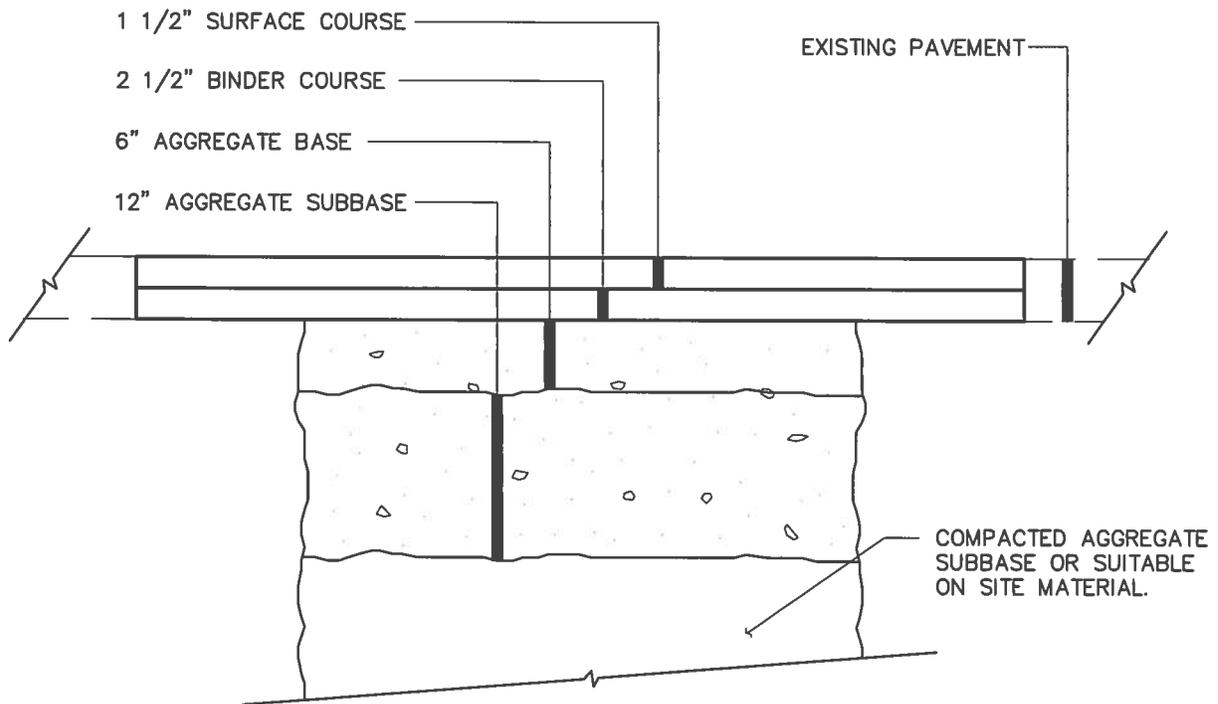
*** = Graveled Area

**** = Motorcycle Spaces

Current employee count (current full time - temp and regular)	1208
Employee count with proposed new employees (14)	1222
Spaces needed to meet standard	805
Total spaces available (not including bike and motorcycle)	896
Total employee spaces (regular, handicap)	826
Meets Bar Harbor standard?	Yes

***** 2012 Lot B Expansion added 40 regular spaces for a total of 351

One space is lost because of CBA construction



NOTES:

1. TEMPORARY PAVEMENT IS 2" BINDER COURSE, AND MAY BE REQUIRED AT THE TOWN'S DISCRETION.
2. CUT EXISTING PAVEMENT TO STRAIGHT EVEN EDGE.
3. MATCH EXISTING THICKNESS OF AGGREGATE SUBBASE. SEE TYPICAL ROADWAY SECTION FOR REQUIRED AGGREGATE MINIMUM THICKNESS.
4. FOR TOWN ROADS, PAVEMENT SHALL BE REPLACED IN THICKNESS SHOWN, OR TO EXISTING THICKNESS, WHICHEVER IS GREATER.

TYPICAL BITUMINOUS PAVEMENT REPAIR
TOWN ROADS AND DRIVEWAYS

N.T.S.



One Merchants Plaza, Suite 501
Bangor, Maine 04401
207.945.5105 | www.woodardcurran.com

COMMITMENT & INTEGRITY DRIVE RESULTS

**TYPICAL PAVED DRIVE/
PARKING LOT BASE DETAIL**

DESIGNED BY: SSN	CHECKED BY: SSN
DRAWN BY: NTD	229202-flg 12-1-town app.dwg

The Jackson Laboratory
Bar Harbor, Maine

TOWN OF BAR HARBOR
SITE PLAN REVIEW APPLICATION
CENTER FOR BIOMETRIC ANALYSIS

JOB NO: 229202
DATE: APRIL, 2016
SCALE: AS NOTED

FIGURE 12-1

EXHIBIT 13

125-66.K ASSESSOR'S CERTIFICATION OF STREET NAMES

No streets or street names are proposed as part of this project. Therefore, no certification of the municipal tax assessor is included in this exhibit.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 14
125-66.L PHOTOGRAPHS

Exhibit 14 contains Figure 14-1, which is an aerial photograph of The Jackson Laboratory site taken in 2007. Property lines associated with the site and the proposed project locations are superimposed on the photo.

Figure 14-2 is the orientation plan for the required photos, shown below.



Photo A: Looking west out from the proposed CBA footprint.



Photo B: Looking south from the proposed CBA footprint towards Building 4, which will be demolished.



Photo C: Looking east from the proposed CBA footprint.



Photo D: Looking north from the proposed CBA footprint.



Photo E: Looking west towards the proposed CBA site.



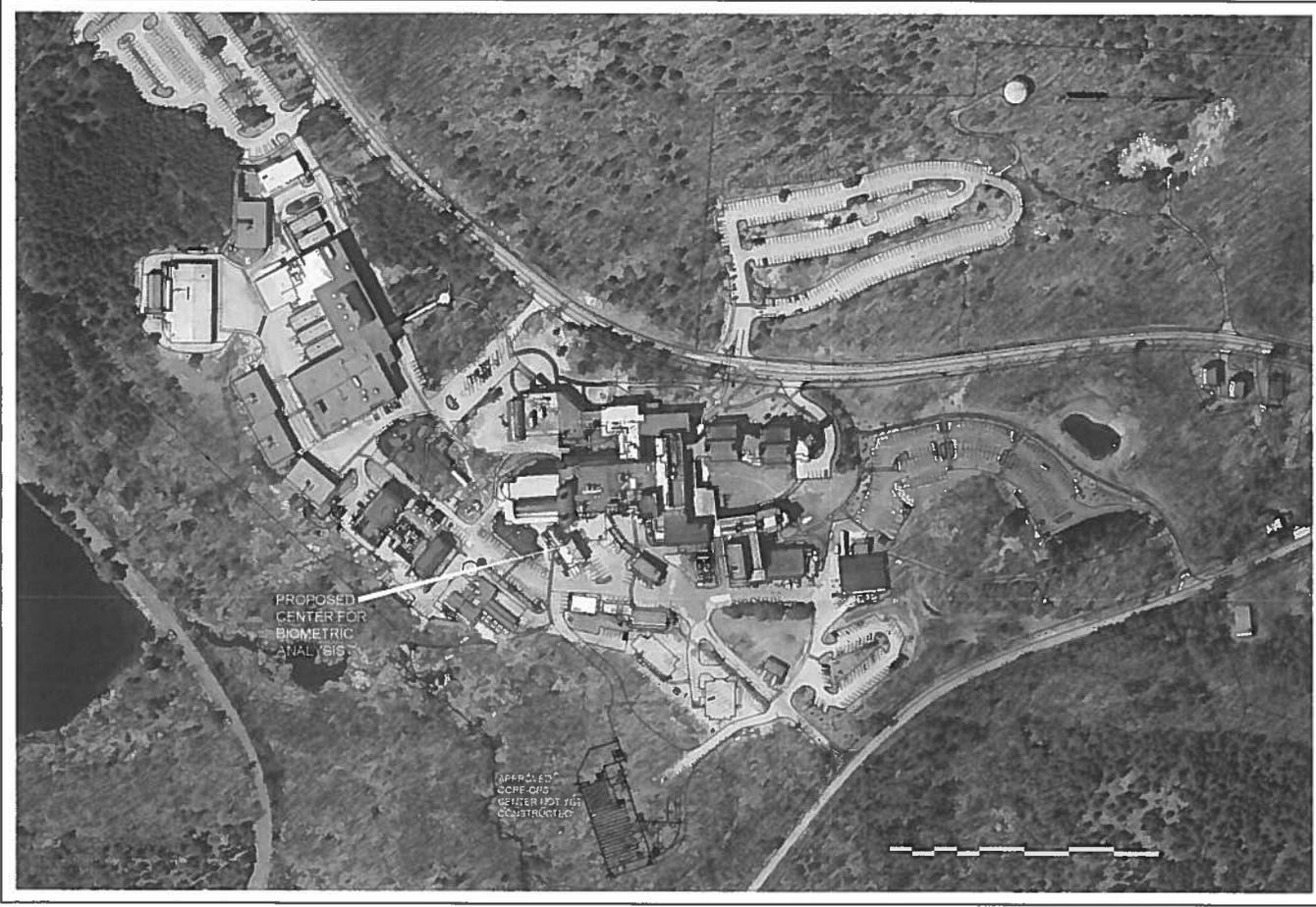
Photo F: Looking north towards the proposed CBA site.



Photo G: Looking east towards the proposed CBA site.



Photo H: Looking south towards the proposed CBA site.



PROPOSED
CENTER FOR
BIOMETRIC
ANALYSIS

PROPOSED
SCOPING
CENTER NOT YET
CONSTRUCTED



One Mackintosh Place, Suite 201
Bangor, Maine 04401
207.552.2188 | www.woodardcurran.com



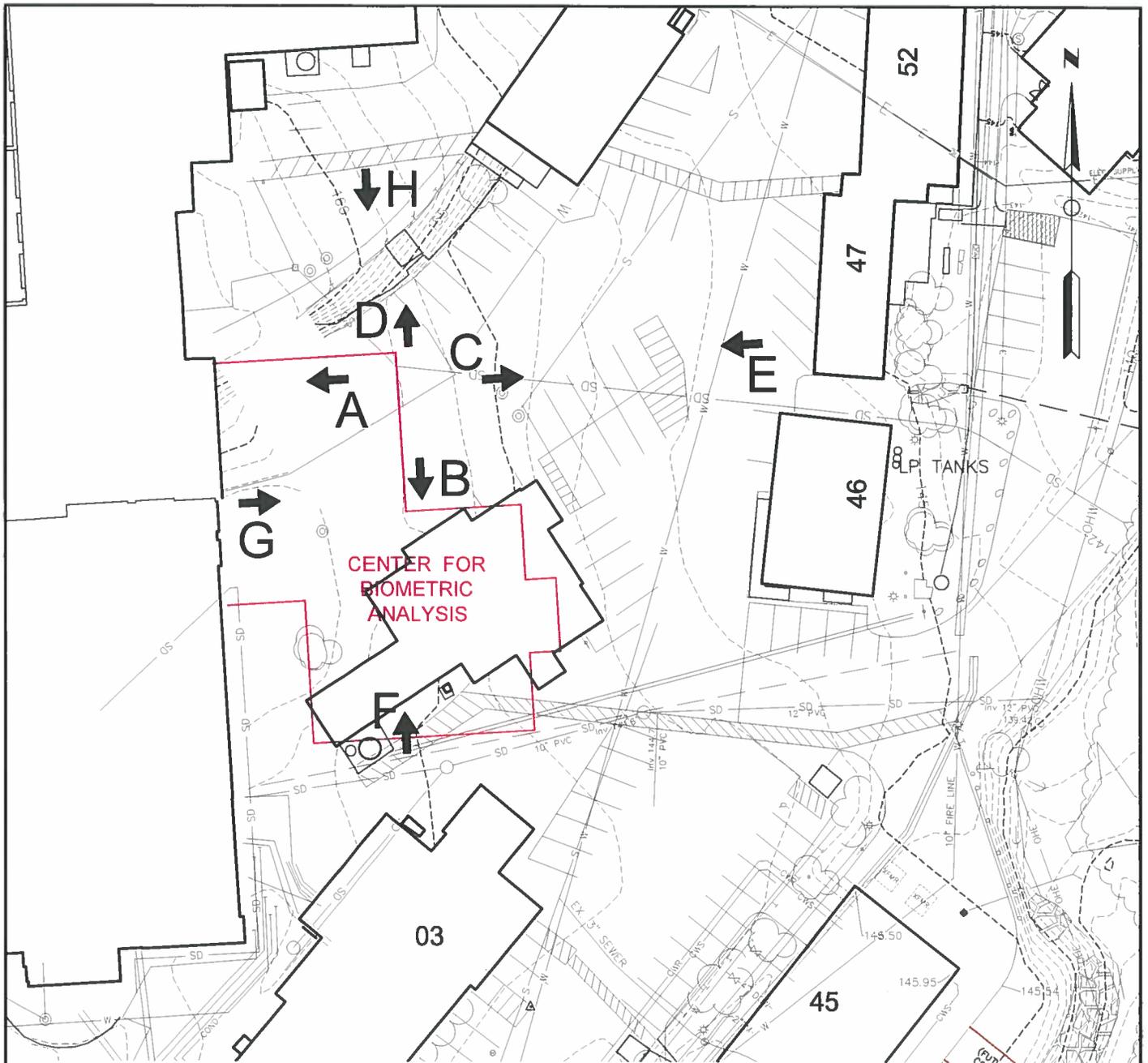
CONSULTING & ENGINEERING FIRM

**PROJECT SITE
AERIAL PHOTOGRAPH**

PROJECT NO.: 229202
DATE: APRIL 2016
SCALE: 1" = 200'

The Jackson Laboratory
Bar Harbor, Maine
TOWN OF BAR HARBOR
SITE PLAN REVIEW APPLICATION
CENTER FOR BIOMETRIC ANALYSIS

JOB NO. 229202
DATE: APRIL 2016
SCALE: 1" = 200'
FIGURE 14-1



SOURCE:

PLAN ENTITLED, "THE JACKSON LABORATORY, BAR HARBOR, MAINE, CONSTRUCT NEW CHILLER BUILDING, SITE LAYOUT PLAN", SHEET C-101, PREPARED BY COLBY COMPANY ENGINEERING, DATED 2013.07.03, STAMPED PRELIMINARY DRAWING NOT FOR CONSTRUCTION

BASE SURVEY PROVIDED BY SHYKA, SHEPPARD & GARSTER LAND SURVEYORS, DATED JUNE, 2007

PLAN ENTITLED "LAND TITLE SURVEY PROPERTY OF THE JACKSON LABORATORY, HANCOCK COUNTY REGISTRY OF DEEDS - BOOK 1748, PAGE 425, OTTER CREEK & SCHOONER HEAD ROAD BAR HARBOR, MAINE" BY PLISGA & DAY LAND SURVEYORS, DATED 02-06-02, AT 1"=100'

UTILITY LOCATIONS FROM DIGITAL PLAN TITLED JAXSITE_2000.dwg PROVIDED BY THE JACKSON LABORATORY ENGINEERING DEPARTMENT AND ARE APPROXIMATE.

LEGEND:

➔ A PHOTO LOCATION AND VIEW DIRECTION



BAR SCALE

1" = 40'

CHECK GRAPHIC SCALE BEFORE USING



One Merchants Plaza, Suite 501
Bangor, Maine 04401
800.564.2333 | www.woodardcurran.com

COMMITMENT & INTEGRITY DRIVE RESULTS

PHOTO LOCATION PLAN

DESIGNED BY: **SSN** CHECKED BY: **SSN**
DRAWN BY: **NTD** 229202-FIG 14-2-TOWN APP.DWG

The Jackson Laboratory
Bar Harbor, Maine

TOWN OF BAR HARBOR
SITE PLAN REVIEW APPLICATION
CENTER FOR BIOMETRIC ANALYSIS

JOB NO: 229202
DATE: APRIL, 2016
SCALE: 1"=40'

FIGURE 14-2

EXHIBIT 15

125-66.M SUBSURFACE WASTEWATER DISPOSAL

No subsurface wastewater disposal system is required for the proposed projects. Therefore, no plans for such improvements are included in this exhibit.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 16

125-66.N GROUNDWATER

No groundwater will be extracted for the construction or operation of the proposed projects. Therefore, no details to that effect are included in this exhibit.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 17

125-66.O EROSION AND SEDIMENTATION

The overall goal of the Erosion and Sedimentation Control Plan is to restrict the potential for erosion on the sites and sedimentation of areas downhill of the sites. A variety of erosion control techniques will be implemented to achieve this goal. During construction, these include:

- Positive grades throughout the construction site to direct flow to sediment control barriers;
- Diversion barriers to keep upslope runoff from flowing through the construction site;
- Installation of sediment barriers at storm drain inlets, catch basins and culverts;
- Frequent maintenance (sweeping, etc.) of nearby paved areas;
- Preserving and maintaining pavement and vegetated areas to the maximum extent possible;
- Installation and maintenance of sedimentation barriers adjacent to the project;
- Permanent paving and seeding and mulching applied as soon as areas are at final grades; and
- Inspection of all in-place measures after every significant rainfall until permanent measures are in place.

Structural measures for the CBA will be installed where shown on the Erosion and Sedimentation Control Site Plans included as Figures 17-1. Included in this exhibit are general notes for construction erosion control and details for the installation of the control measures to be used. All measures will be implemented in accordance with the Maine Erosion and Sedimentation Handbook for Construction: Best Management Practices. All temporary measures will be removed after the areas are permanently stabilized.

The contact person responsible for maintenance of the erosion and sedimentation control measures is Pat Taber, Project Manager, The Jackson Laboratory, 600 Main Street, Bar Harbor, Maine, 04609. He can be reached at (207) 288-6580. Mr. Taber and the construction contractor representative(s) will use the attached maintenance inspection form, or a similar one.



**STORMWATER EROSION & SEDIMENTATION CONTROL
INSPECTION REPORT FORM**

Inspectors:

Date: ___ / ___ / ___

_____ of _____ (Project Owner)
_____ of _____ (Contractor)
_____ of _____
_____ of _____

Storm Event? Yes No Rainfall Amount _____ Storm Duration _____ hours

Visual Observations of Activity and Site Conditions:

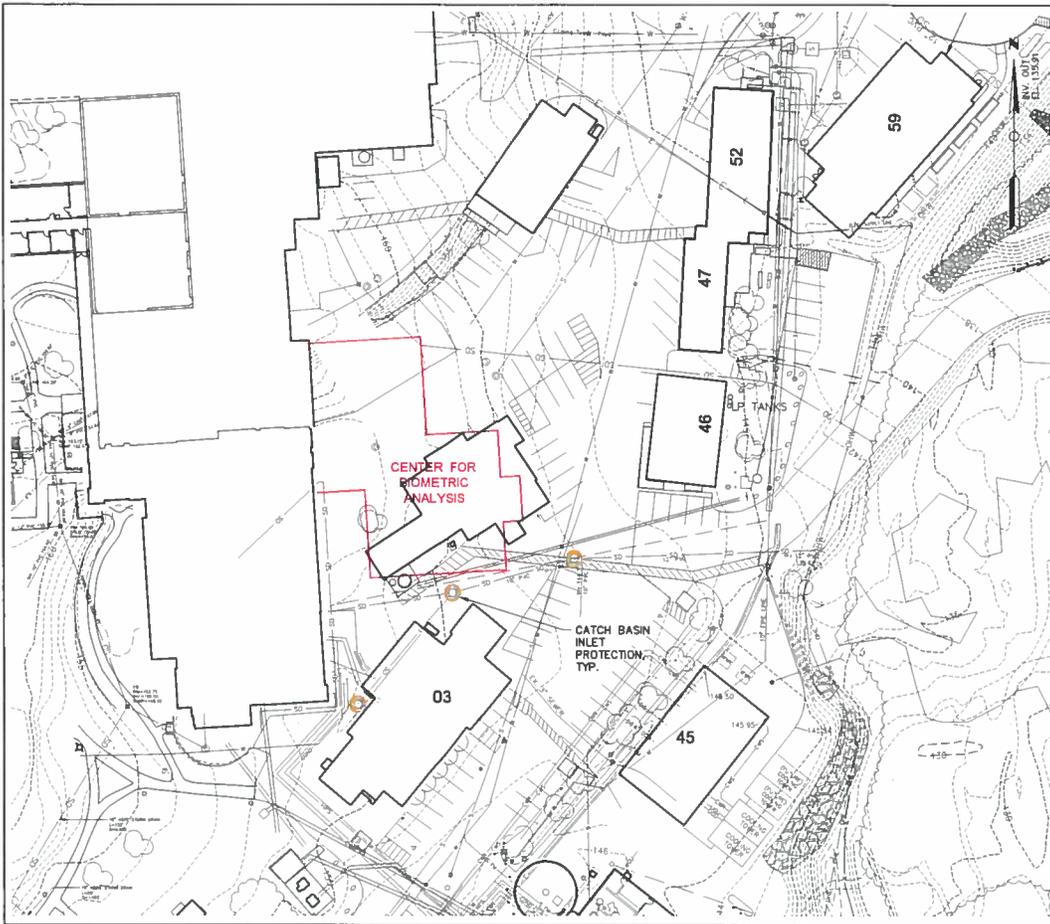
Disturbed Soil Areas:

Storage Of Soils:

Sediment & Erosion Control Measures:

Construction Site Entrance:

Surface Stabilization:



LEGEND:

-  CATCH BASIN INLET PROTECTION

40' 0 40' 80'
BAR SCALE
 1" = 40'
 CHECK GRAPHIC SCALE BEFORE USING

SOURCE:
 PLAN ENTITLED "THE JACKSON LABORATORY, BAR HARBOR, MAINE, CONSTRUCT NEW CHILLER BUILDING, GRADING, DRAINAGE AND EROSION CONTROL PLAN", SHEET C-103, AND "UTILITY PLAN", SHEET C-102, PREPARED BY COLBY COMPANY ENGINEERING, DATED 2013.07.03, STAMPED PRELIMINARY DRAWING NOT FOR CONSTRUCTION

BASE SURVEY PROVIDED BY SHYKA, SHEPPARD & GARSTER LAND SURVEYORS, DATED JUNE, 2007

PLAN ENTITLED "LAND TITLE SURVEY PROPERTY OF THE JACKSON LABORATORY, HANCOCK COUNTY REGISTRY OF DEEDS - BOOK 1748, PAGE 425, OTTER CREEK & SCHOONER HEAD ROAD BAR HARBOR, MAINE" BY PLUSCA & DAY LAND SURVEYORS, DATED 02-06-02, AT 1"=100'

UTILITY LOCATIONS FROM DIGITAL PLAN TITLED JAXSITE_2000.dwg PROVIDED BY THE JACKSON LABORATORY ENGINEERING DEPARTMENT AND ARE APPROXIMATE

One Barnstable Plaza, Suite 841
 Bangor, Maine 04401
 207.686.1156 | www.woodwardcurran.com
 COMMITMENT & INTEGRITY DRIVE RESULTS



EROSION AND SEDIMENTATION CONTROL PLAN

The Jackson Laboratory
 Bar Harbor, Maine
 TOWN OF BAR HARBOR
 SITE PLAN REVIEW APPLICATION
 CENTER FOR BIOMETRIC ANALYSIS

CHECKED BY: SSN
 DRAWN BY: INTD
 2/23/2012 - 09:17:11 - 1:00pm - 098.dwg
 JOB NO. 229202
 DATE: APRIL, 2012
 SCALE: 1"=40'
FIGURE 17-1

Temporary Erosion Control:

Measure	Dates for use	Timing, Activity, and Location
Silt Fence or Erosion Control Mix Berm	All	Before site clearing and soil disturbance, install downhill of disturbed areas.
Inlet Protection	All	Install as soon as drainage structures are functioning. Remove when up hill areas are stabilized.
Dust Control	All	During dry weather, apply water and calcium chloride to control dust.
Temporary Seeding	April 15 to Oct. 1	Soil stockpiles and disturbed land soils which will not be disturbed again within 21 days. If grass growth provides less than 95% soil coverage by Nov. 1, apply mulch and anchor with netting.
Mulch	April 15 to Sept. 15	On all areas of exposed soil which will not be disturbed again within 21 days, apply 32 Kg to 41 Kg (70 to 90 lbs). mulch (2 bales) per 93 sq. m. (1,000 sq. ft.) within the 21 day period.
Winter Mulch	Sept. 16 to Oct. 31	On all areas of exposed soil which will not be disturbed again within 7 days, apply 68 Kg to 77 Kg (150 to 170 lbs). mulch (4 bales) per 93 sq. m. (1,000 sq. ft.) within the 7 day period. Erosion control blanket may be used as a substitute for winter mulch.
	Nov. 1 to April 14	On all areas of exposed soil, apply 68 Kg to 77 Kg (150 to 170 lbs). mulch (4 bales) per 93 sq. m. (1,000 sq. ft.) and anchor with netting, at the end of each working day. Erosion control blanket may be used as a substitute for winter mulch.
Erosion Control Blanket	All	Install immediately following seeding, within drainage channels and on all exposed soil slopes which are 25% or steeper grade, and locations shown on plan. ECB may also be substituted for winter mulch.
Inspections	Until site is permanently stabilized	Inspect the erosion and sedimentation control measures at least once a week and prior to and after significant storm events.

Permanent Seed Mix:

Seed Variety	Application Rate
Creeping Red Fescue	23 kg/ha
Redtop	2 kg/ha
Tall Fescue	23 kg/ha
Total	48 kg/ha

Permanent Erosion Control:

Measure	Dates for use	Timing, Activity, and Location
Outlet Protection	All	Install erosion control mat or riprap immediately following culvert installation or final channel grading at locations shown on plans.
Permanent Seeding	April 15 to Aug. 15	On final grade areas, within 7 days of grade preparation, prepare topsoil, followed with seeding and mulch application.
Dormant Seeding	Aug. 16 to April 15	On final grade areas, with prepared topsoil. Apply seed at double the specified rate, on bare soil, and follow with an application of winter mulch.
Permanent Mulch	All	Install with final landscaping.



One Merchants Plaza, Suite 501
Bangor, Maine 04401
207.945.5105 | www.woodardcurran.com

COMMITMENT & INTEGRITY DRIVE RESULTS

EROSION CONTROL NOTES

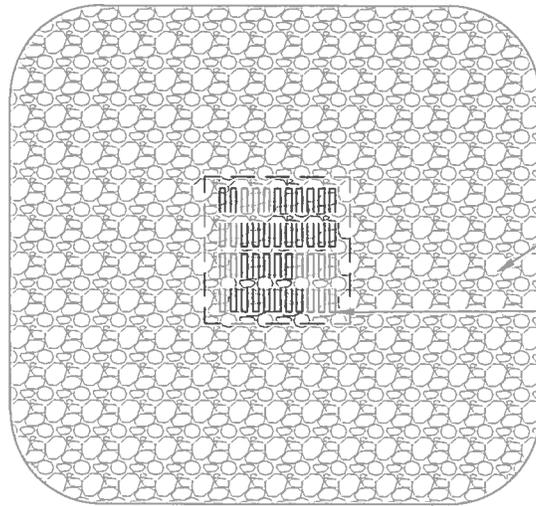
DESIGNED BY: SSN CHECKED BY: SSN
DRAWN BY: NTD 229202-flg 17-2_3-town app.dwg

The Jackson Laboratory
Bar Harbor, Maine

TOWN OF BAR HARBOR
SITE PLAN REVIEW APPLICATION
CENTER FOR BIOMETRIC ANALYSIS

JOB NO: 229202
DATE: APRIL, 2016
SCALE: AS NOTED

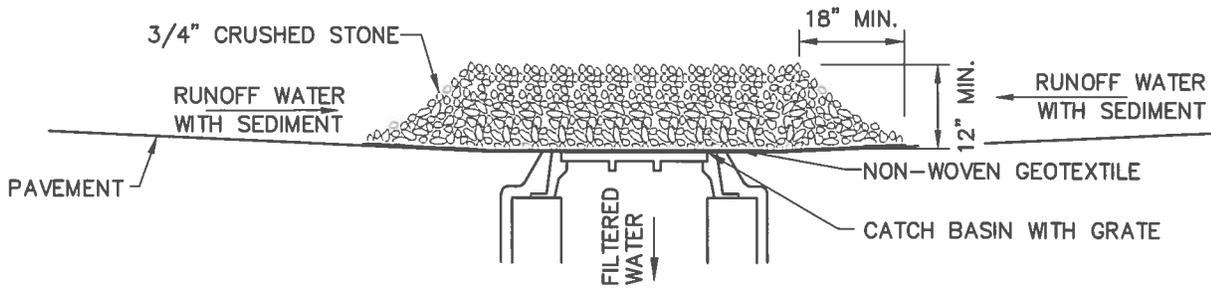
FIGURE 17-2



3/4" CRUSHED STONE

CATCH BASIN WITH GRATE

PLAN VIEW



3/4" CRUSHED STONE

RUNOFF WATER WITH SEDIMENT

PAVEMENT

18" MIN.

12" MIN.

RUNOFF WATER WITH SEDIMENT

NON-WOVEN GEOTEXTILE

CATCH BASIN WITH GRATE

FILTERED WATER

SECTION

CATCH BASIN INLET PROTECTION DETAIL

N.T.S.



One Merchants Plaza, Suite 501
Bangor, Maine 04401
207.945.5105 | www.woodardcurran.com

COMMITMENT & INTEGRITY DRIVE RESULTS

CATCH BASIN INLET PROTECTION DETAIL

DESIGNED BY: SSN	CHECKED BY: SSN
DRAWN BY: NTD	229202-fig 17-2_3-town app.dwg

The Jackson Laboratory
Bar Harbor, Maine

TOWN OF BAR HARBOR
SITE PLAN REVIEW APPLICATION
CENTER FOR BIOMETRIC ANALYSIS

JOB NO: 229202
DATE: APRIL, 2016
SCALE: AS NOTED

FIGURE 17-3

EXHIBIT 18

125-66.P FIRE PROTECTION

The CBA will be served by Bar Harbor's public water supply system and the Lab's fire protection water system. Access to the CBA for emergency equipment will be from Schooner Head Road.

Communications with the Fire Department will take place through staff. Approval documentation will be provided to the Planning Board through that process.

Documentation of State Fire Marshal review is not required for Site Plan approval for facilities in Zone Z.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 19

125-66.Q SOLID WASTE AND HAZARDOUS WASTE OR MATERIAL

Solid waste will be produced during the normal operation of the CBA. Eight employees new will be hired to work at the CBA, though some existing employees will relocate to work there. Based on historic solid waste generation of 0.4 tons per year employee, an additional 3.2 tons will be generated per year from the 8 new employees at the CBA. The Lab has an open contract with Bar Harbor to accept their trash and this project will not affect the contract.

The cage bedding and animal accessories waste from CBA will be disposed with that generated elsewhere on campus. The waste generation from the proposed project is similar to waste generated elsewhere at the Lab and it will not impact existing licenses or capacity for solid waste removal.

No increase to the Lab's hazardous waste generation is anticipated from the project. The Lab has a number of required waste management and hazardous material licenses. The Jackson Laboratory is in 100% compliance with all licenses and applicable environmental regulations. Copies of the licenses held by the Lab can be made available at the request of the Bar Harbor Planning Board.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 20
125-66.R BUILDING PLANS, ELEVATIONS, AND INTERIOR USE

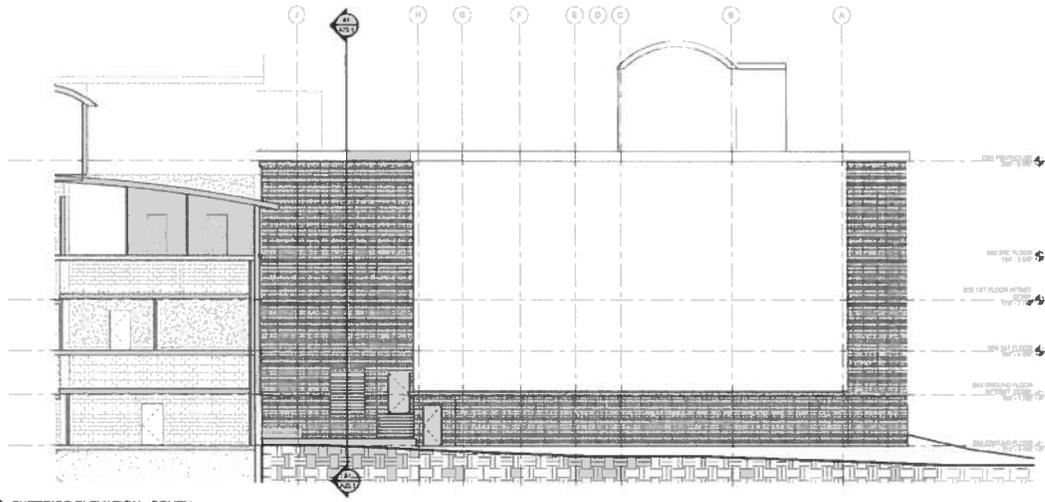
Figure 20-1 includes floor plans for the proposed CBA project.

Figure 20-2 shows the elevations for the exterior of the proposed building. The adjacent building facades are brick and white paneled steel. The CBA will cover a portion of the existing facades. The façade of the CBA will be brick veneer at the wall base matching that of the adjacent (GRB) brick façade. Materials above the base will be a composite metal panel system with storefront framing and insulated glazing for the exterior fenestration. The metal panels will be a dark green or brown to match other newer metal-sided buildings at the Lab such as the Energy Center.

The proposed project is not a restaurant; no maximum seating capacity plan is required.

As documented in the cover letter, waivers are requested for this exhibit.

C2 EXTERIOR ELEVATION - SOUTH



PRELIMINARY - NOT FOR CONSTRUCTION

One Barnaby Place, Suite 201
 Bangor, Maine 04401
 800.541.2351 | www.woodwardcurran.com



EXTERIOR ELEVATIONS -
 SOUTH

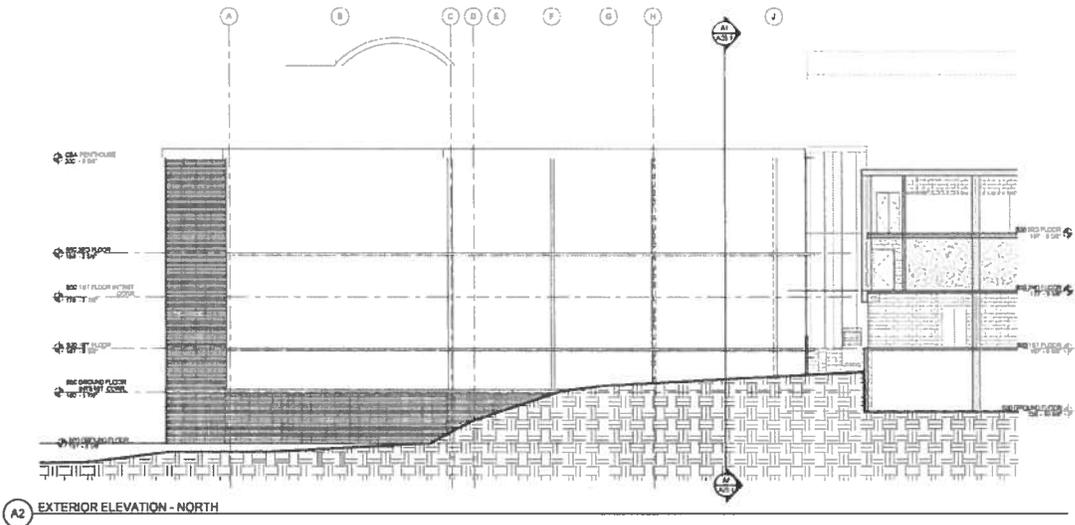
DESIGNED BY: SSU
 CHECKED BY: SSU
 DRAWN BY: HTD
 2/29/22-202-20-1-100W / APP DWG

The Jackson Laboratory
 Bar Harbor, Maine

TOWN OF BAR HARBOR
 SITE PLAN REVIEW APPLICATION
 CENTER FOR BIOMETRIC ANALYSIS

JOB NO: 221202
 DATE: APRIL 2021
 SCALE: 1/8" = 1'-0"

FIGURE 20-1



A2 EXTERIOR ELEVATION - NORTH

PRELIMINARY - NOT FOR CONSTRUCTION

One Washington Place, Suite 501
 Bangor, Maine 04401
 800.544.2352 | www.woodwardcurran.com
 COMMERCIAL & RESIDENTIAL DEVELOPMENT



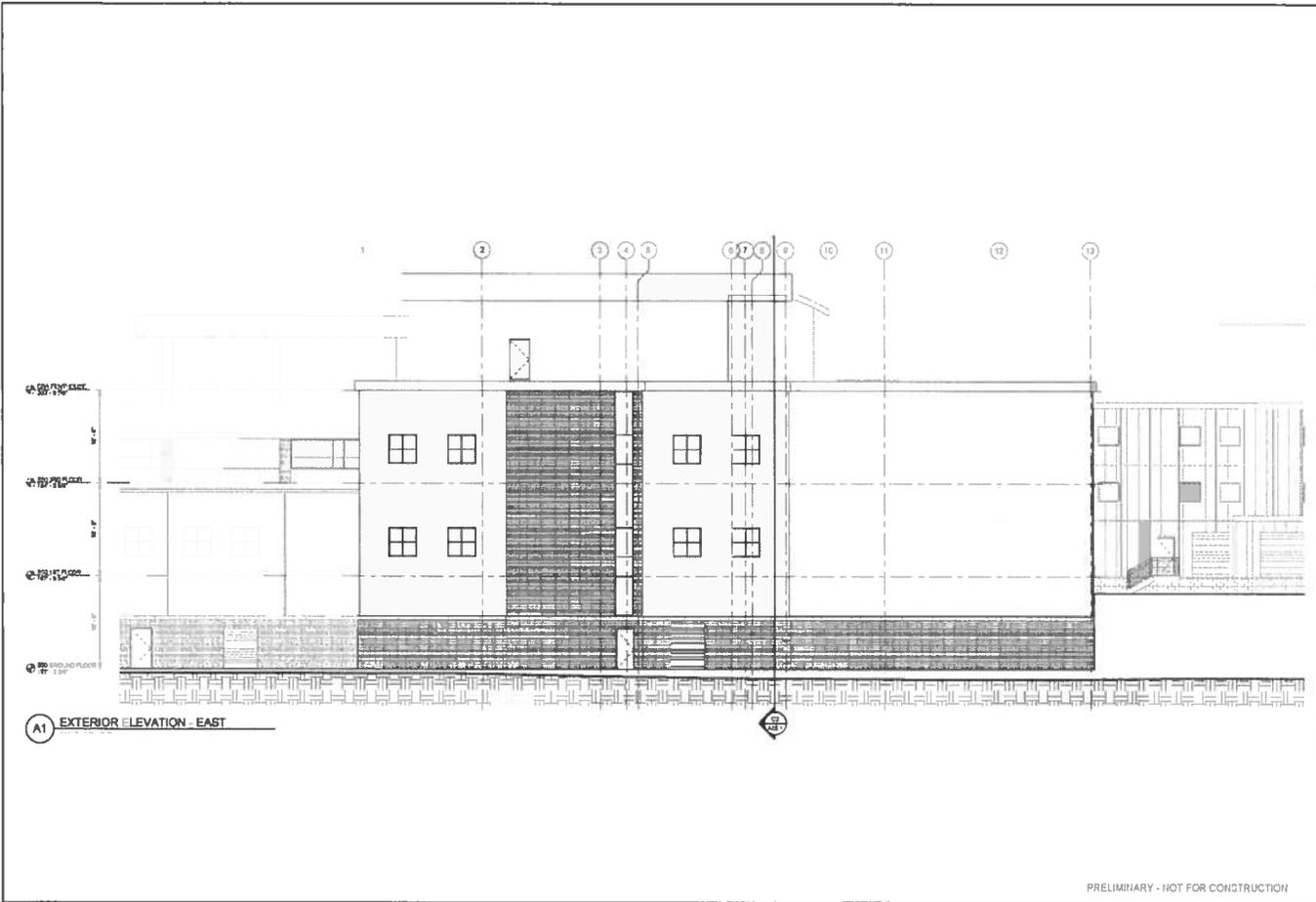
EXTERIOR ELEVATIONS -
 NORTH

DESIGNED BY: JSH
 DRAWN BY: JSH

The Jackson Laboratory
 Bar Harbor, Maine

TOWN OF BAR HARBOR
 SITE PLAN
 CENTER FOR BIOMETRIC ANALYSIS

JOB NO: 229202
 DATE: APRIL 2018
 SCALE: 1/8"=1'-0"
 FIGURE 20-2



A1 EXTERIOR ELEVATION - EAST

PRELIMINARY - NOT FOR CONSTRUCTION

One Washington Place, Suite 201
 Bangor, Maine 04401
 Tel: 541.232.1 | www.woodward.com



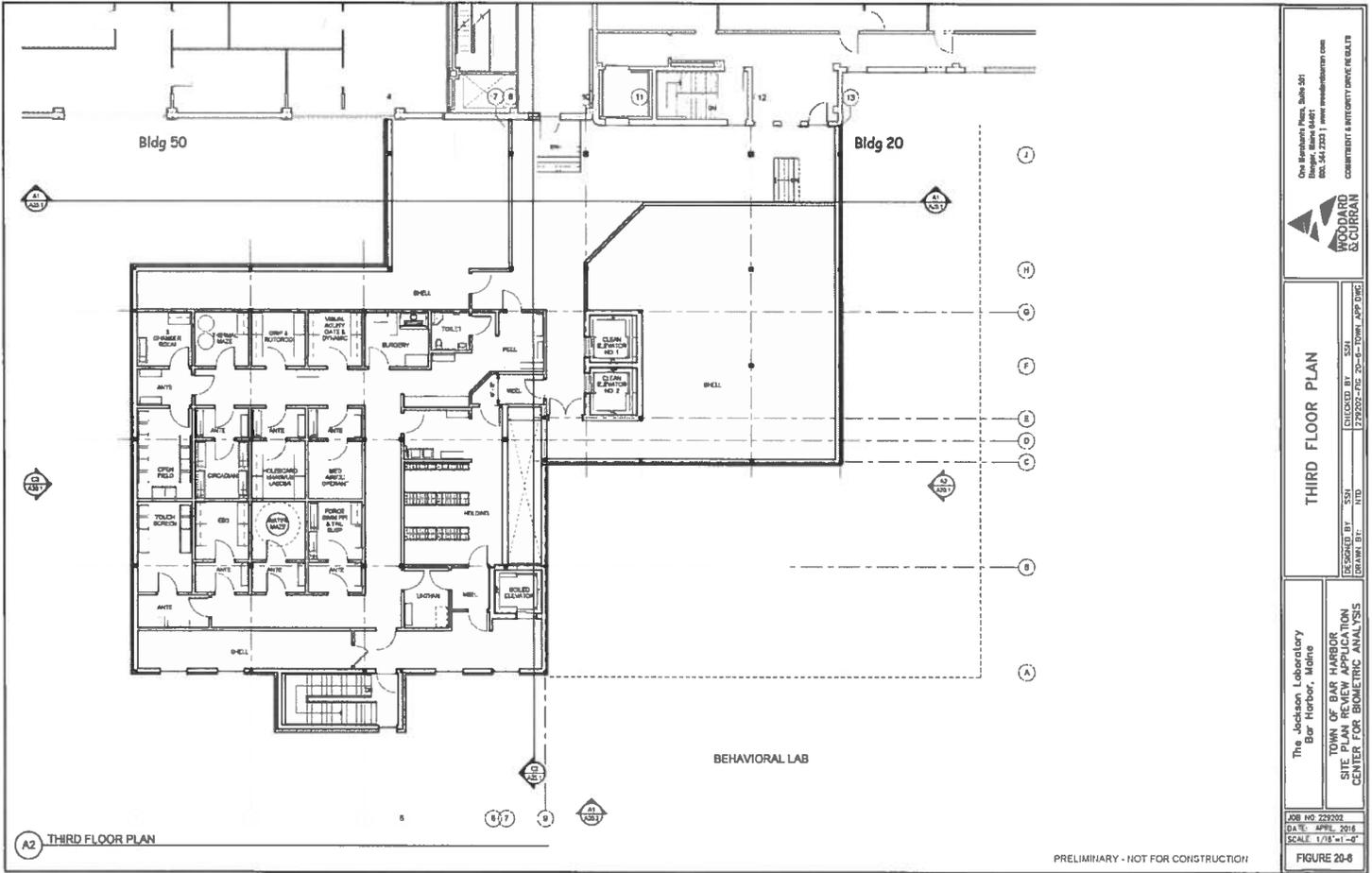
EXTERIOR ELEVATIONS -
 EAST

The Jackson Laboratory
 Bar Harbor, Maine

TOWN OF BAR HARBOR
 SITE PLAN REVIEW APPLICATION
 CENTER FOR BIOMETRIC ANALYSIS

JOB NO 229202
 DATE APRIL 2014
 SCALE 1/8"=1'-0"

FIGURE 20-3



A2 THIRD FLOOR PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

One Research Park, Suite 501
 Bangor, Maine 04401
 800.544.2321 | www.woodwardcurran.com
 COMMERCIAL & RESIDENTIAL ARCHITECTURE



THIRD FLOOR PLAN

DESIGNED BY: ESN
 2799524-FIG. 20-03-DRAWN_APP.DWG

The Jackson Laboratory
 Bar Harbor, Maine
 TOWN OF BAR HARBOR
 SITE PLAN REVIEW APPLICATION
 CENTER FOR BIOMETRIC ANALYSIS

JOB NO 229202
 DATE: APRIL 2018
 SCALE: 1/8"=1'-0"

FIGURE 20-6

EXHIBIT 21
125-66.S LIGHTING

Wall-mounted fixture will be installed adjacent to doors as shown on the site plan. This will be the Lab's new standard wall fixture, the Lumark Crosstour LED with a 3,500k (warm white) LED. The manufacturer's cut sheet is attached. The lighting pattern for the wall-mounted light is included in the attached light fixture information and illustrated on the Photometrics Plan, Figure 9-4.

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaries provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 7W and 18W. The large housing is available in the 26W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 7W models operate in -40°C to 40°C [-40°F to 104°F]. 18W and 26W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 90% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year warranty.

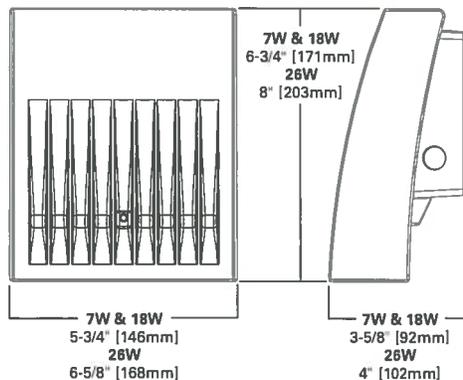
Catalog #		Type
Project		
Comments		Date
Prepared by		



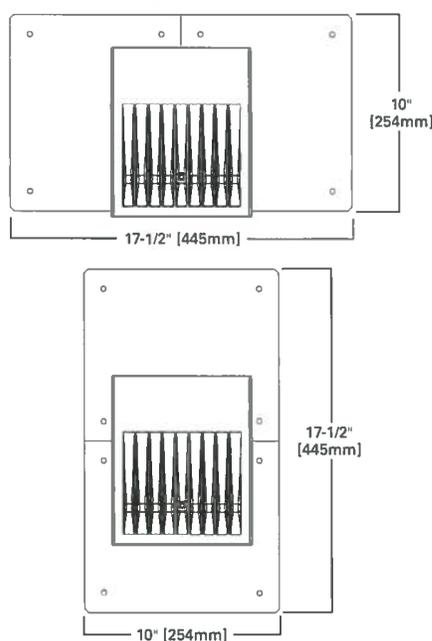
XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant
DesignLights Consortium® Qualified*

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.):
XTOR1A/XTOR2A=0.34
XTOR3A=0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. (1.7 – 2.4 kgs.)

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
XTOR1A Model		
25°C	> 92%	> 290,000
40°C	> 92%	> 290,000
50°C	> 91%	> 270,000
XTOR2A Model		
25°C	> 91%	> 270,000
40°C	> 90%	> 260,000
50°C	> 88%	> 225,000
XTOR3A Model		
25°C	> 91%	> 280,000
40°C	> 91%	> 270,000
50°C	> 89%	> 240,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	722	1,633	1,523	2,804	2,284
Delivered Lumens (With Flood Accessory Kit) ¹	468	1,060	978	2,168	1,738
B.U.G. Rating ²	B0-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5,000	5,000	3,500	5,000	3,500
CRI (Color Rendering Index)	65	65	70	65	70
Power Consumption (Watts)	7W	18W	18W	26W	26W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series		
	XTOR1A	XTOR2A	XTOR3A
120V	0.05A	0.15A	0.22A
208V	0.03A	0.08A	0.13A
240V	0.03A	0.07A	0.11A
277V	0.03A	0.06A	0.10A
347V	0.025A	0.058A	0.082A

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1

Series ¹	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 7W XTOR2A=Small Door, 18W XTOR3A=Small Door, 26W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K ²	[Blank]=Carbon Bronze (Standard) WT=Summit White	PC1=Photocontrol 120V ³ PC2=Photocontrol 208-277V ^{3,4} 347V=347V ⁵ HA=50°C High Ambient ⁵	WG/XTOR=Wire Guard ⁶ XTORFLD-KNC=Knuckle Floodlight Kit ⁷ XTORFLD-TRN=Trunnion Floodlight Kit ⁷ XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White ⁷ XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White ⁷ EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES: 1 DesignLights Consortium³ Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

7W Series	18W Series	26W Series
XTOR1A=7W, 5000K, Carbon Bronze	XTOR2A=18W, 5000K, Carbon Bronze	XTOR3A=26W, 5000K, Carbon Bronze
XTOR1A-WT=7W, 5000K, Summit White	XTOR2A-N=18W, 3500K, Carbon Bronze	XTOR3A-N=26W, 3500K, Carbon Bronze
XTOR1A-PC1=7W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=18W, Summit White	XTOR3A-WT=26W, Summit White
	XTOR2A-PC1=18W, 120V PC, Carbon Bronze	XTOR3A-PC1=26W, 120V PC, Carbon Bronze

5-DAY QUICK SHIP ORDERING INFORMATION

7W Series	18W Series	26W Series
XTOR1A-WT-PC1=7W, 5000K, Summit White, 120V PC	XTOR2A-PC2=18W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=26W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=18W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=26W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=18W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=26W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=18W, 3500K, Summit White	XTOR3A-N-WT=26W, 3500K, Summit White
	XTOR2A-N-PC1=18W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=26W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=18W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=26W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=18W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=26W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=18W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=26W, 3500K, Summit White, 208-277V PC



Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.



FOOTCANDLE LEGEND:



☆ PROPOSED WALL MOUNT LIGHT



SOURCE:
 PLAN ENTITLED "THE JACKSON LABORATORY, BAR HARBOR MAINE, CONSTRUCT NEW CHILLER BUILDING, GRADING, DRAINAGE AND EROSION CONTROL PLAN", SHEET C-103, AND "UTILITY PLAN", SHEET C-102, PREPARED BY COLBY COMPANY ENGINEERING, DATED 2013.07.03, STAMPED PRELIMINARY DRAWING NOT FOR CONSTRUCTION

BASE SURVEY PROVIDED BY SHYKA, SHEPPARD & GARSTER LAND SURVEYORS, DATED JUNE, 2007

PLAN ENTITLED "LAND TITLE SURVEY PROPERTY OF THE JACKSON LABORATORY, HANCOCK COUNTY REGISTRY OF DEEDS - BOOK 1748, PAGE 425, OTTER CREEK & SCHOONER HEAD ROAD BAR HARBOR MAINE" BY PLUSGA & DAY LAND SURVEYORS, DATED 02-06-02, AT 1"=100'

UTILITY LOCATIONS FROM DIGITAL PLAN TITLED JAXSITE_2000.dwg PROVIDED BY THE JACKSON LABORATORY ENGINEERING DEPARTMENT AND ARE APPROXIMATE.

Don Woodard, P.E., Civil 0461
 Manager, Maine (0490)
 207.246.1104 | www.woodardcurran.com
 COMMERCIAL & SURVEYING ENGINEERS

WOODARD & CURRAN

LIGHTING PLAN

THE JACKSON LABORATORY
 Bar Harbor, Maine
 TOWN OF BAR HARBOR
 SITE PLAN REVIEW APPROVAL
 CENTER FOR BIOMETRIC ANALYSIS

DRAWN BY: INTD
 CHECKED BY: ESKJ
 DATE: 05/14/18
 JOB NO: 228292

FIGURE 21-1

EXHIBIT 22

125-66.T SIGNS

No new signs will be installed at The Jackson Laboratory as part of the proposed projects.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 23
125-66.U TRAFFIC IMPACT

The proposed projects will include 14 new employees at the Lab. The impact to overall traffic in vicinity of the Lab will be insignificant.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 24
125-66.V TECHNICAL AND FINANCIAL CAPACITY

The total budget for this project is \$21,000,000. This budget includes the cost of design, permitting, building construction, scientific equipment and other associated costs. The estimated cost of the CBA construction is \$11,900,000. Funding for this project is being made available from operating revenues and the \$10,000,000 bond approved by the people of the State of Maine.

A copy of the Lab's most recent annual report and financial statements can be made available at the request of the Bar Harbor Planning Board.

Lab personnel with the necessary technical capacity oversee the construction of current and ongoing construction projects at the Lab. The same personnel will be responsible for oversight of the currently-proposed project.

The CBA is being designed by Harriman Associates. Resumes for the key professionals working on the design can be provided if requested.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 25

125-66.W BUSINESS OPERATIONS

Operations within existing buildings will not change as a result of construction of the proposed projects. No modification of the Lab's existing air license is necessary, and the operation of the proposed projects will not create significant toxic or noxious matter, vibrations, odor, noise, heat, glare, air pollution, gasses and fumes, waste, dirt, fly ash, dust, smoke, or other objectionable or offensive effects.

The Center for Biometric Analysis will house a significant portion of the Scientific Services for The Jackson Laboratory. These services will include Phenotyping Labs, Behavioral Study Labs, Imaging and Necropsy. This new facility will provide a 30% growth for these services as well as consolidation of these services into a streamlined process for the lab's research needs.

The hours of operation at the Lab will remain unchanged by the proposed projects, with employees generally working eight-hour daytime shifts.

As documented in the cover letter, waivers are requested for this exhibit.

EXHIBIT 26
125-66.X MINING

The project is not a proposed gravel extraction or mining operation. Therefore, no details are included in this exhibit.

As documented in the cover letter, waivers are requested for this exhibit.



woodardcurran.com
COMMITMENT & INTEGRITY DRIVE RESULTS

MEMORANDUM

DATE: APRIL 1, 2016
TO: BAR HARBOR PLANNING BOARD
FROM: ROBERT OSBORNE, PLANNING DIRECTOR
RE: DRAFT CHANGES TO FERRY TERMINAL/CRUISE SHIP REGULATIONS

§ 125-109 Definitions.

The following terms shall have the following meanings:

COMMERCIAL WATERBORNE PASSENGER FACILITY

A facility providing a ferry or cruise ship terminal for waterborne transportation; ferry and/or cruise terminal related operations, including, but not limited to land transportation; government related operations, including, but not limited to the United States Department of Homeland Security, including Customs and Border Protection; marina and marine uses; public access to pedestrian trails; public uses such as open air events, and other outdoor activities; parking of cars and buses; and, tourist related uses, including and not limited to, a welcoming center, restaurant(s), and related office spaces.

§ 125-17 Bar Harbor Gateway.

[Amended 11-2-2010]

A. Purpose. The Bar Harbor Gateway District largely consists of a mix of historically significant properties, various transient accommodations, and commercial uses, including a ferry terminal. It is situated along Route 3 and represents the primary point of access for visitors to downtown Bar Harbor and Acadia National Park. New development, redevelopment, and infill development shall respect the following standards to assure that the design and use of properties within this district are compatible to nearby properties.

B. Dimensional standards.

- (1) Minimum lot size: 20,000 square feet with sewers; 40,000 square feet without sewers.
- (2) Minimum road frontage and lot width: 100 feet with sewer; 150 feet elsewhere.
- (3) Minimum front setback: 50 feet on Route 3; 25 feet elsewhere.
- (4) Minimum side setback: 25 feet.
- (5) Minimum rear setback: 25 feet.
- (6) Maximum lot coverage: 50%.
- (7) Maximum height: 40 feet.

(8) Minimum area per family: 5,000 square feet with sewers; 10,000 square feet without sewers.

C. Allowed uses.

(1) Principal uses allowed by building permit or a change of use permit from the Code Enforcement Officer: artist studio; child care family; gallery; government facility; home occupation (NOTE: Home occupations in properties with lot frontage or access on Route 3 shall be required to obtain minor site plan approval.); municipal facility; municipal school; public or private park with minimal structural development; vacation rentals; single-family dwelling and two-family dwelling.

[Amended 6-14-2011]

(2) Accessory uses that are usual and normal to a principal use are allowed if they are typically permitted by the Code Enforcement Officer or site plan review for the district in which the use is proposed. Accessory uses are allowed by review of the same permitting authority that approved the principal structure.

D. Uses allowed by site plan.

(1) The following uses shall be permitted by site plan review in any part of this district: bank; bed-and-breakfast I; bed-and-breakfast II; bed-and-breakfast III; bed-and-breakfast IV; bed-and-breakfast V; child-care center; commercial boat yard; commercial fish pier; commercial waterborne passenger facility; ferry terminal; farmers' market; hotel; marina; multifamily dwelling I; multifamily dwelling II; motel; nursing or convalescent homes or congregate housing; private compulsory school; professional office building; restaurant; retail; road construction; services; take-out restaurant; wind turbines, and wireless communication facilities.

E. Allowed activities.

(1) Activities allowed without a building permit, provided that they comply with all provisions of Chapter 125: activities necessary for managing/protecting land; filling/earthmoving activity of less than 16 cubic yards; forest management activities except timber harvesting; nonintensive recreation uses not requiring structures; public utility installation/essential services.

(2) Activities allowed by building permit and requiring approval of the Code Enforcement Officer: driveway construction; filling/earthmoving activity of 16 cubic yards or more.

F. Other requirements.

(1) Parking lots shall require buffering and vegetative screening if visible from Route 3.

(2) Lots with road frontage on Route 3 may be required to provide streetscape improvements, such as trees, sidewalks, bike paths, benches, and/or other related improvements as deemed appropriate by the Planning Board in the case of major site plan, or the Planning Department in the case of a minor site plan. Such improvements shall be exempt from setback requirements.

§ 125-49.1 Shoreland General Development III.

[Added 11-2-2010]

A. Purpose. The Shoreland General Development III District seeks to allow for corridor development that provides transient services and other commercial services along the Town's prominent entry corridor. Care in screening, landscaping, and building design should be taken to respect the National Scenic Byway (Eden Street) as well as the historic waterfront.

B. Dimensional standards.

(1) Minimum lot size: 30,000 square feet per residential dwelling unit in tidal areas and 40,000 square feet per residential dwelling unit in nontidal areas with sewer; 60,000 square feet per governmental, institutional, commercial or industrial structure adjacent to nontidal areas; 40,000 square feet for all other uses or structures without sewer.

(2) Minimum road frontage and lot width: 100 feet with sewers; 150 feet without sewers.

(3) Minimum shore frontage: 150 feet for residential use or dwelling unit adjacent to tidal areas; 300 feet per governmental, institutional, commercial or industrial structure adjacent to nontidal area; 200 feet for each other use, dwelling unit or structure for all other uses or structures.

(4) Minimum front setback: 100 feet from the center of Route 3, and 75 feet from the front lot line elsewhere.

(5) Minimum side setback: 25 feet.

(6) Minimum rear setback: 25 feet.

(7) Maximum lot coverage: 25%.

(8) Maximum height: 35 feet.

(9) Minimum area per family: 30,000 square feet on sewers; 40,000 square feet without sewers.

C. Allowed uses.

(1) Principal uses allowed by building permit or a change of use permit from the Code Enforcement Officer: artist studio, child care, family, gallery, government facility, home occupation (NOTE: Home occupations in properties with lot frontage or access on Route 3 shall be required to obtain minor site plan approval.); municipal facility, municipal school; public or private park with minimal structural development; all vacation rentals; single-family dwelling and two-family dwelling.

(2) Accessory uses that are usual and normal to a principal use are allowed if they are typically permitted by the Code Enforcement Officer or site plan review for the district in which the use is proposed. Accessory uses are allowed by review of the same permitting authority that approved the principal structure.

D. Uses allowed by site plan.

(1) The following uses shall be permitted by site plan review in any part of this district: bank; bed-and-breakfast I; bed-and-breakfast II; bed-and-breakfast III; bed-and-breakfast IV; bed-and-breakfast V;

child-care center; commercial boat yard; commercial fish pier; commercial waterborne passenger facility; ferry terminal; farmers' market; hotel; marina; multifamily dwelling I; multifamily dwelling II; motel; nursing or convalescent homes or congregate housing; private compulsory school; professional office building; restaurant; retail; road construction; services; take-out restaurant; wind turbines, and wireless communication facilities.

E. Allowed activities.

(1) Activities allowed without a building permit, provided that they comply with all provisions of Chapter 125: activities necessary for managing/protecting land; filling/earthmoving activity of less than 16 cubic yards; forest management activities except timber harvesting; nonintensive recreation uses not requiring structures; public utility installation/essential services.

(2) Activities allowed by building permit and requiring approval of the Code Enforcement Officer: driveway construction; filling/earthmoving activity of 16 cubic yards or more.

F. Other requirements.

(1) Parking lots shall require buffering and vegetative screening if visible from Route 3.

(2) Lots with road frontage on Route 3 may be required to provide streetscape improvements, such as trees, sidewalks, bike paths, benches, and/or other related improvements as deemed appropriate by the Planning Board in the case of major site plan, or the Planning Department in the case of a minor site plan. Such improvements shall be exempt from setback requirements.



16 State House Station
Augusta, Maine 04333-0016

Tel: 207.624.3564
Fax: 207.624.3251

email: john.h.henshaw@maine.gov
www.maineports.com

Item J. d.

March 15, 2016

Mr. Robert Osborne
Planning Director
Town of Bar Harbor
93 Cottage St., Suite 1
Bar Harbor, ME 04609-1400

MAR 18 2016

TOWN OF BAR HARBOR
PLANNING DEPARTMENT

Re: Bar Harbor Terminal

Dear Robert:

Consistent with our prior discussions, the Maine Department of Transportation and the Maine Port Authority are moving forward with plans to acquire the Bar Harbor Terminal. MDOT and Marine Atlantic, the current owner of the Terminal, are putting the finishing touches on a three year lease which contains an option for MDOT to purchase the Terminal at any time during the lease. MDOT expects that the parties will sign the lease in the near future.

As you know, MDOT and the Maine Port Authority have long viewed the Terminal as the logical location for not only the resumption of ferry service to and from Bar Harbor, but also as an appropriate facility to berth cruise ships visiting Bar Harbor. There is no question that Bar Harbor has a long history of hosting the cruise ship industry and its passengers. Fostering such business with appropriate facilities, but always keeping in mind the needs of the Town, would clearly be in the public interest of not only the Town of Bar Harbor, but also the State of Maine.

In reviewing the Town's zoning ordinance, both MDOT and the Maine Port Authority felt that those sections of the Ordinance addressing permitted uses for the zones in which the Terminal is currently located are not as clear as they could be with regard to a ferry and cruise ship facility, and its ancillary uses. We would, therefore, suggest that the permitted uses in the Bar Harbor (Gateway) District and the Shoreland General III District be clarified by adding "Commercial Waterborne Passenger Facility" as a permitted use in both Districts. A "Commercial Waterborne Passenger Facility" would be defined as including:

"a facility providing a ferry or cruise ship terminal for waterborne transportation; ferry and/or cruise terminal related operations, including, but not limited to land transportation; government related operations, including, but not limited to the United States Department of Homeland Security, including Customs and Border Protection; marina and marine uses; public access to

Mr. Robert Osborne
Planning Director
March 15, 2016
Page 2

pedestrian trails; public uses such as open air events, and other outdoor activities; parking of cars and buses; and, tourist related uses, including, but not limited to, a welcoming center, restaurant(s), and related office spaces.”

Such a clarification would certainly add some certainty to the scope of uses in both districts. We would appreciate your thoughts with regard to the above proposal.

We look forward to working with the Town of Bar Harbor to accomplish the longstanding goal of providing an appropriate facility to handle both existing and future ferry, cruise ship and their related uses, while at the same time addressing a number of infrastructure issues relating to traffic, and access to Acadia National Park.

Given the fact that the Maine Department of Transportation and the Maine Port Authority expect that the lease will be signed in the very near future, any efforts the Town can make to expedite the review/approval process would be greatly appreciated.

Please do not hesitate to contact me if you, or any other Town official, have any questions, or if either the MDOT or the Maine Port Authority can provide you with any further information.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Henshaw', with a horizontal line and a small square mark at the end.

John H. Henshaw
Executive Director